



TOWN OF RAYMOND
Zoning Board of Adjustment Agenda
February 28, 2024
6:30 P.M. – Raymond High School
Media Center, 45 Harriman Hill Rd.
Updated February 13, 2024

Public Announcement

*If this meeting is canceled or postponed for any reason the information can be found on our website, posted at Town Hall, Facebook Notification, and RCTV. **

1. Pledge of Allegiance

2. Public Hearing

A. Application 2024-001: Kim Brightman – 25 Glen Ridge Road

An application for variance has been submitted by Jacob Fitz on behalf of Kim Brightman, owner of 25 Glen Ridge Road identified as Raymond Tax Map 34, Lot 49. The request is for relief from *Article 15, Section 1* of the *Town of Raymond Zoning Ordinance* which requires setbacks of 30 feet on the side, rear, and front for Zone B residential areas; where 10 feet on the east side is requested to be provided in conjunction with the construction of a barn. The property is located within the Residential B Zoning District.

B. Application 2024-002: Appeal for Fuel NRG Raymond

An application for appeal of administrative decision as denied by the Planning Board on January 11, 2024 for article 5.2.10.7 and definition 5.2.4.11 was submitted by Lynn Davis on behalf of Daniel Flores. The property is located on NH Route 27 and is identified as Raymond Tax Map 32, Lot 69 within Zone C1.

3. Approval of Minutes – December 20, 2023

4. Other Business

- Staff Updates
- Board Member Updates
- Any other business brought before the Board.

5. Adjournment of Public Meeting (NO LATER THAN 10:00 P.M.)



TOWN OF RAYMOND
Zoning Board of Adjustment Agenda
February 28, 2024
6:30 P.M. – Raymond High School
Media Center, 45 Harriman Hill Rd.
Updated February 13, 2024

2024 Zoning Board Meetings Calendar		
Submittal Deadline for Completed Application & Materials	Meeting Date (4th Wednesday of every month)	Agenda Item(s)
Monday, February 26, 2024	Wednesday, March 27, 2024	TBD
Monday, March 25, 2024	Wednesday, April 24, 2024	TBD
Monday, April 22, 2024	Wednesday, May 22, 2024	TBD
Monday, May 27, 2024	Wednesday, June 26, 2024	TBD
Monday, June 24, 2024	Wednesday, July 24, 2024	TBD
Monday, July 29, 2024	Wednesday, August 28, 2024	TBD
Monday, August 26, 2024	Wednesday, September 25, 2024	TBD
Monday, September 23, 2024	Wednesday, October 23, 2024	TBD
Monday, October 21, 2024	Wednesday, November 20, 2024*	TBD
Monday, November 18, 2024	Wednesday, December 18, 2024*	TBD

***Third Wednesday due to holiday**

Note: If you require audio or visual aids, please contact the Selectmen’s Office at least 72 hours prior to the meeting. If this meeting is postponed for any reason, it will be held on a date TBD.



TOWN OF RAYMOND

Community Development Department
Office of Planning & Zoning
4 Epping Street
Raymond, NH 03077

Tel: (603) 895-4735
Fax: (603) 895-0903
<http://www.raymondnh.gov>

Application for a Variance

Site Information

Property Address: 25 Glenridge Rd Raymond NH
Map #: 34 Lot #: 49

Property Owner Information

Name: Kim Brightman Phone: 603 479 8554
Address: 25 Glen Ridge Rd
Email Address: KimBrightman12@gmail.com

Applicant/Agent Information

Name: Jacob Fitz Phone: 603 270 3617
Address: 376 Dover Rd Chichester NH
Email Address: Tricklecreekbarns@gmail.com

Complete the Following

A variance is being requested from Article 15, Section 1 of the Town of Raymond Zoning Ordinance in order to Zone B has a minimum of 30'
side set back, we are looking to place
the structure 10' from the side. This is
comparable to Zone A, which has a 10' side
set back.

Facts in Support of Granting the Variance (if more space is needed, attach additional sheets)

- 1) Granting a variance would not be contrary to the public interest because: The building cannot be put 30' from the property line due to the back yard having extreme slope which makes it unbuildable. The side yard which contains the driveway, would be conducive to placement to the shed, pending approval.
- 2) Granting a variance would be consistent with the spirit of the ordinance because: without the variance there are no other locations on the property that facilitate the usefulness of this shed to house the customers tractor, that they remove snow from their driveway with.

3) Granting a variance would do substantial justice because: Allow the owner to protect the car from the elements by putting it in the garage and moving the tractor into the proposed shed.

4) Granting a variance would not diminish the values of surrounding properties because: It is an improvement to the appearance of the property. The customer will be able to park their tractor in the shed, allowing them to park their car in the garage. This would make the neighborhood look better.

5) Owing to the special conditions of the property that distinguish it from other properties in the area, literal enforcement of the provisions of the ordinance would result in an unnecessary hardship because...

- a. No fair and substantial relationship exists between the general public purposes of the ordinance provision and the specific application of that provision to the property because:

- b. The proposed use is a reasonable one because:

The backyard of the property is an unbuildable slope all the way to the rear property line. Putting the shed 10' from the side property line is flat and buildable.

6) If you cannot provide a response establishing the criteria in 5(a) and 5(b) above, explain how an unnecessary hardship will be deemed to exist if, and only if, owing to special conditions of the property that distinguish it from other properties in the area, the property cannot be reasonably used in strict conformance with the ordinance, and a variance is therefore necessary to enable a reasonable use of the property.



TOWN OF RAYMOND

Community Development
Office of Code Enforcement
4 Epping St Raymond, NH 03077
Phone: 603.895.7020 • Fax: 603.895.7064
<http://www.raymondnh.gov>

MINOR BUILDING PERMIT APPLICATION

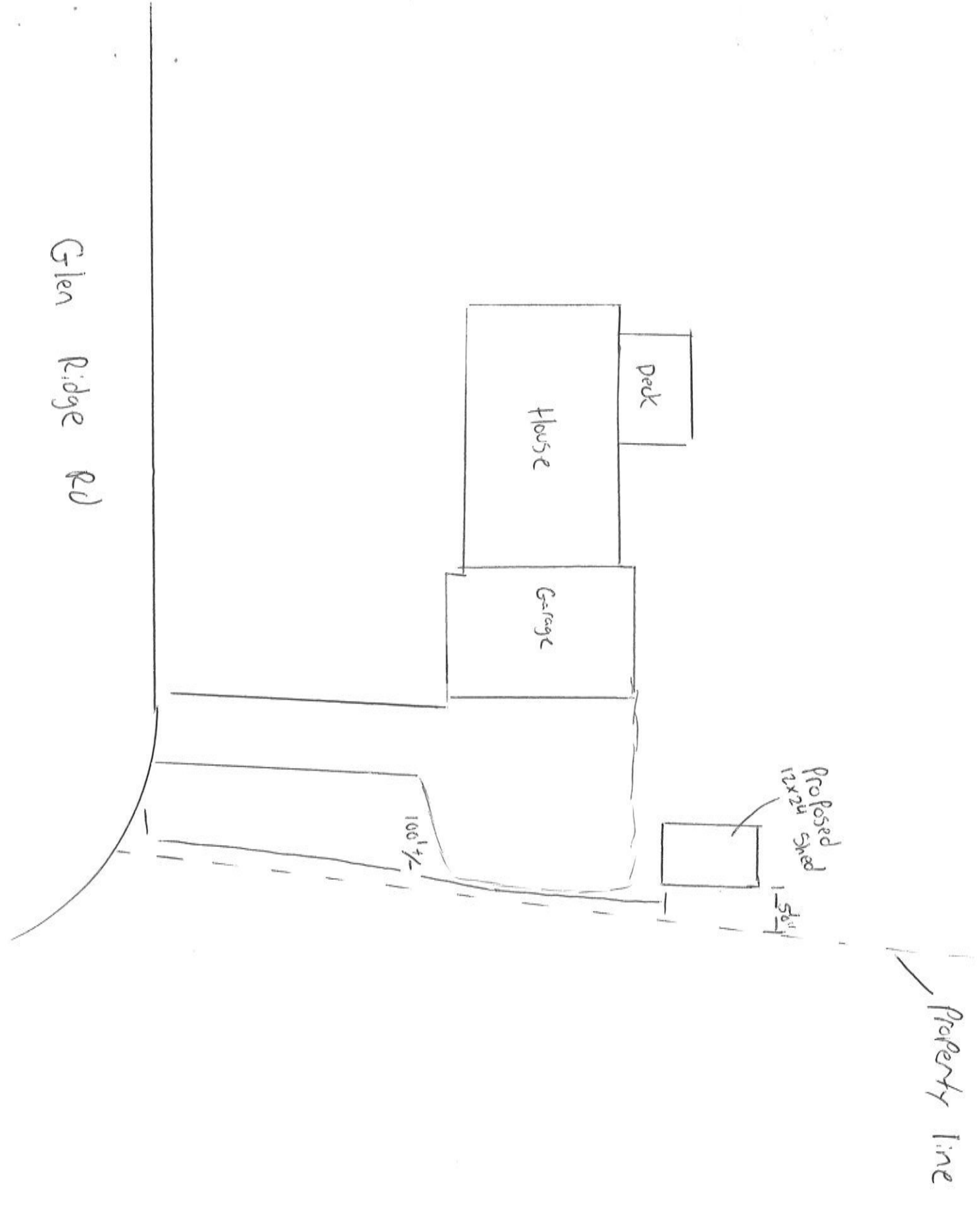
Today's Date

PROPERTY OWNER(S)	
NAME	Kim Brightman
ADDRESS	25 Glen Ridge Rd
PHONE	603 479 8554
JOB ADDRESS (IF DIFFERENT FROM ABOVE)	
ZONING	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial
APPLICANT	
NAME	Jalob F. IZ
COMPANY	Trickle Creek Barns & Design LLC
ADDRESS	376 Dover Rd
CITY/STATE/ZIP	Chichester NH 03258
PHONE	603 270 3617
EMAIL ADDRESS	Tricklecreekbarns@gmail.com
TYPE OF JOB	
Description of Project	Build New 12x24 shed
Cost of Job	6,200.00
Design Details for Construction Provided?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Electric Company
APPLICANT SIGNATURE	
All work must conform with the State of NH Building and Fire Codes (International Residential & Building Code [2009 editions]), 2014 NEC, and current local building and zoning regulations. Some inspections required.	
Applicant	<i>[Signature]</i>
Date	1.10.24
** OFFICE USE ONLY **	
Application Received By	<i>[Signature]</i>
Date	1-10-24
Building Inspector	<i>[Signature]</i>
Date	1-10-24
<input type="checkbox"/> Approved	<input checked="" type="checkbox"/> Denied

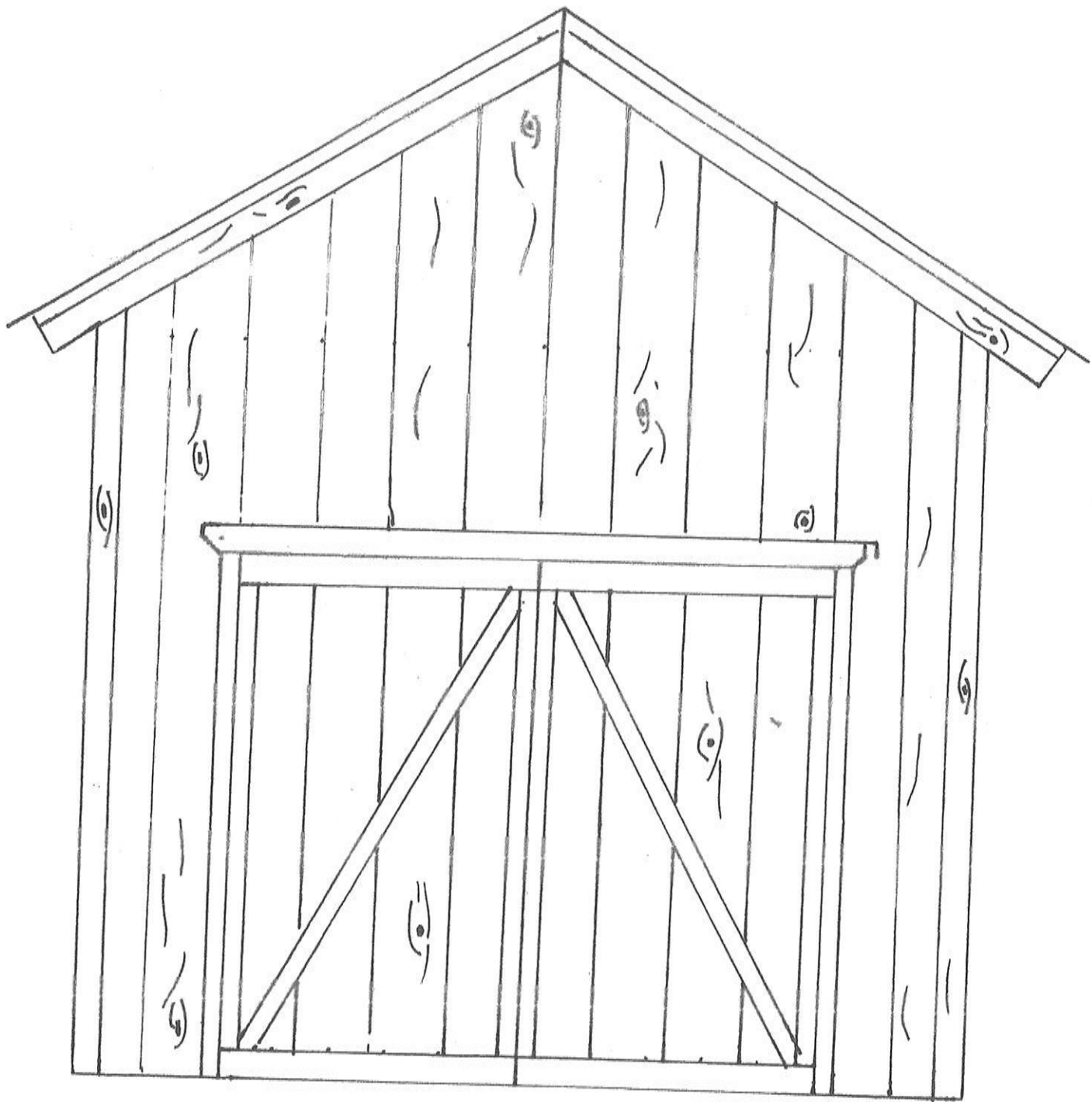
PERMIT NO.	Amt \$ _____ Ck _____
	Date _____ Rec By _____

25 Glen Ridge Rd

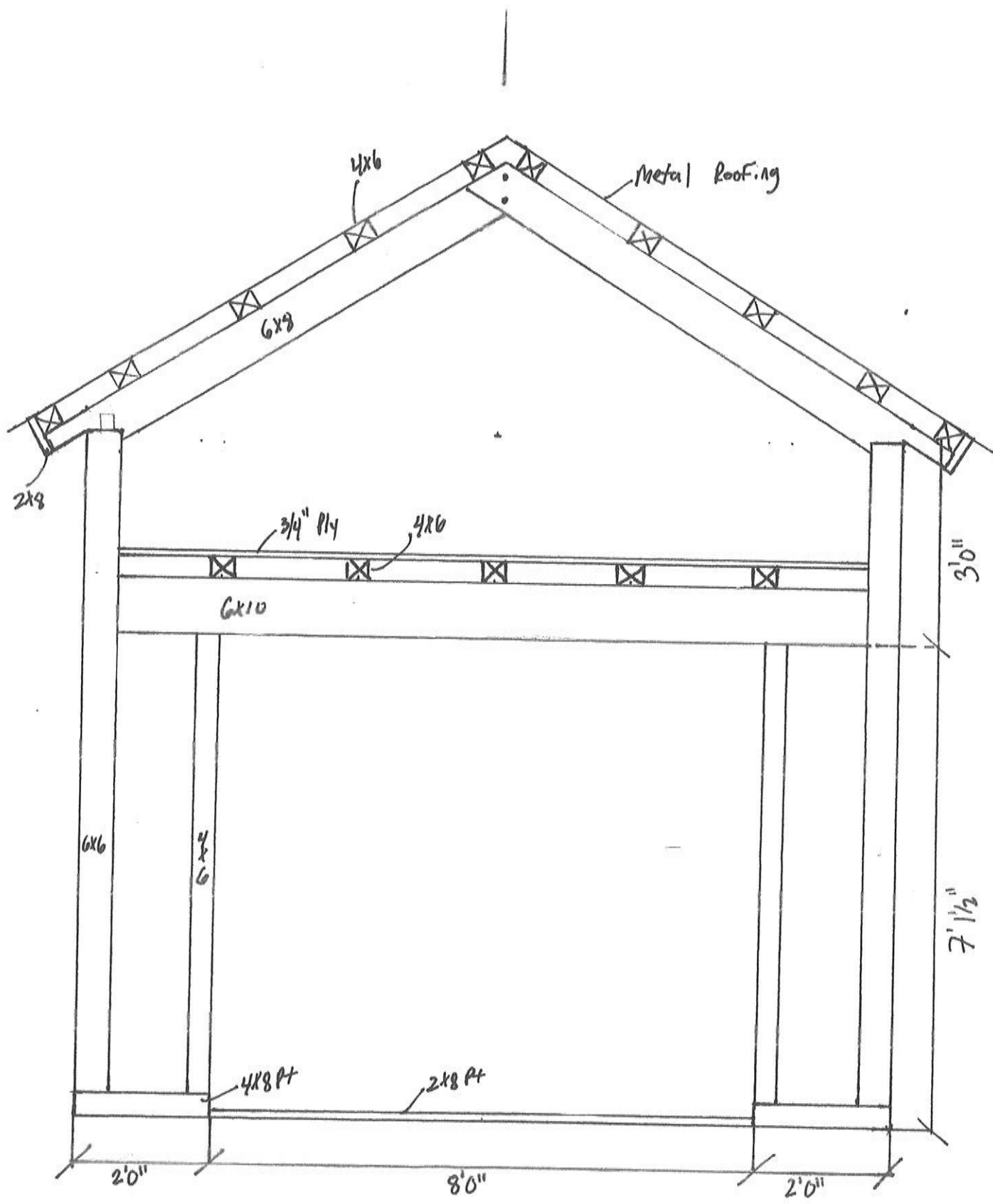
Glen Ridge Rd

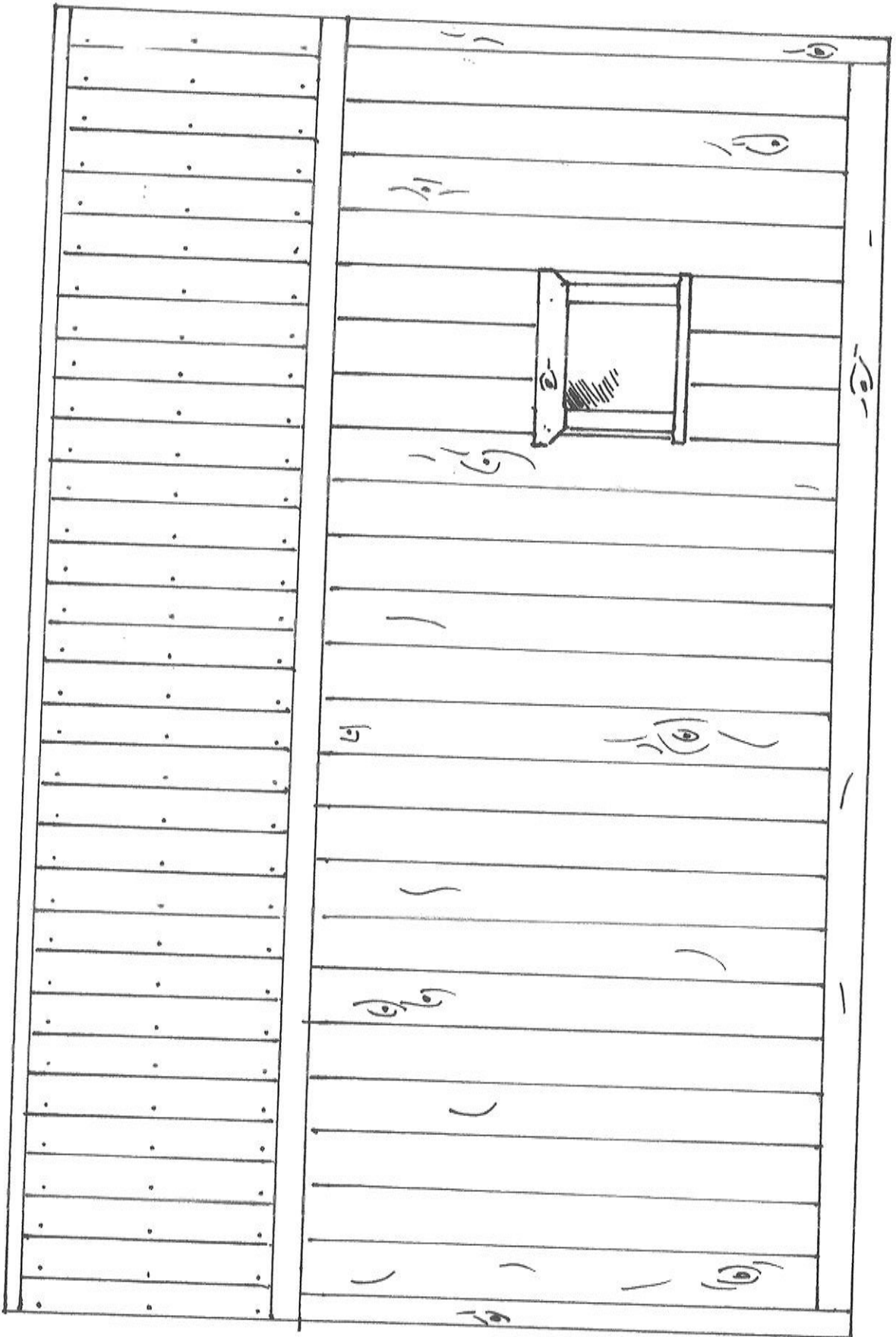


1/2" : 1'0" 25 Glen Ridge Rd



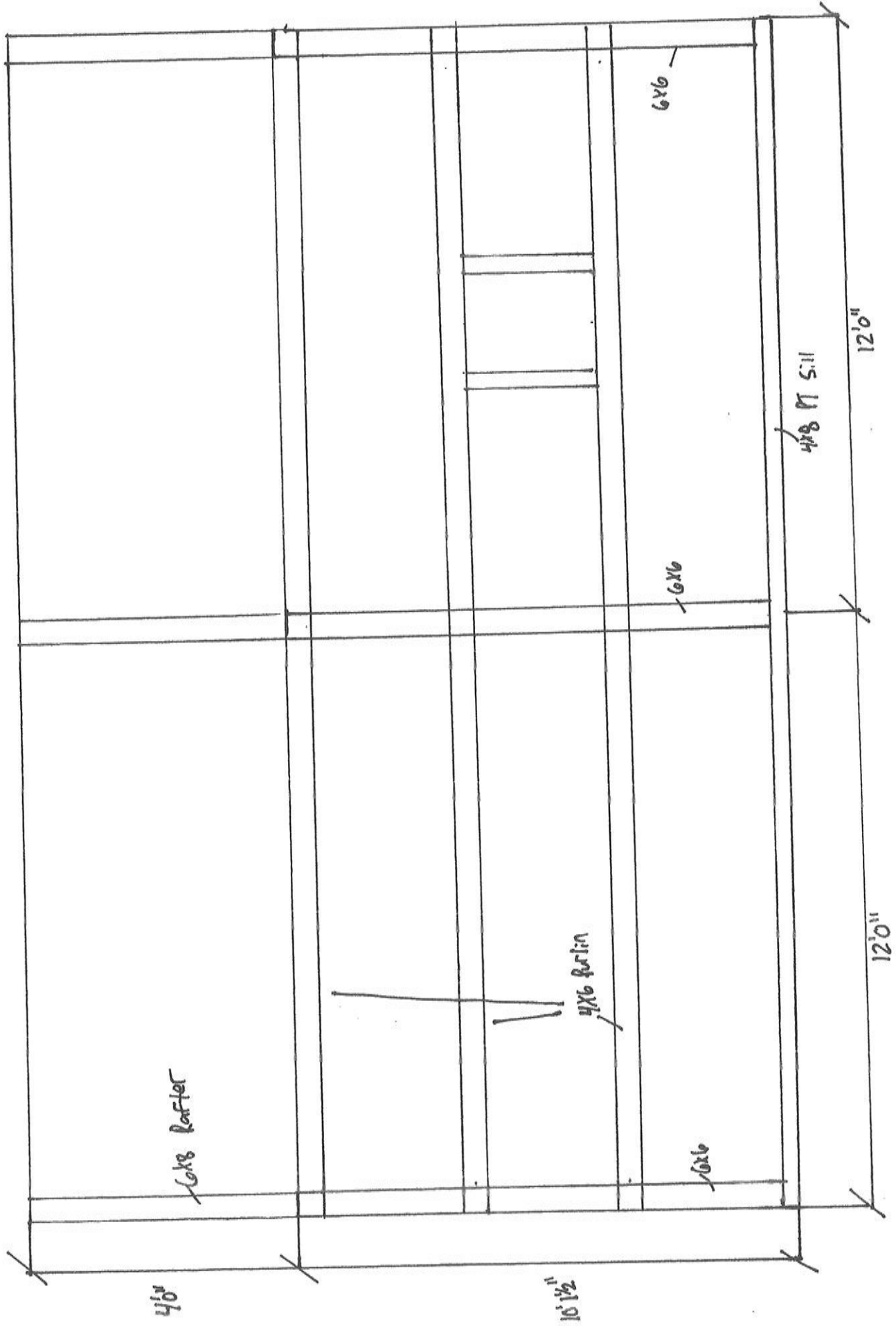
1/2" : 10

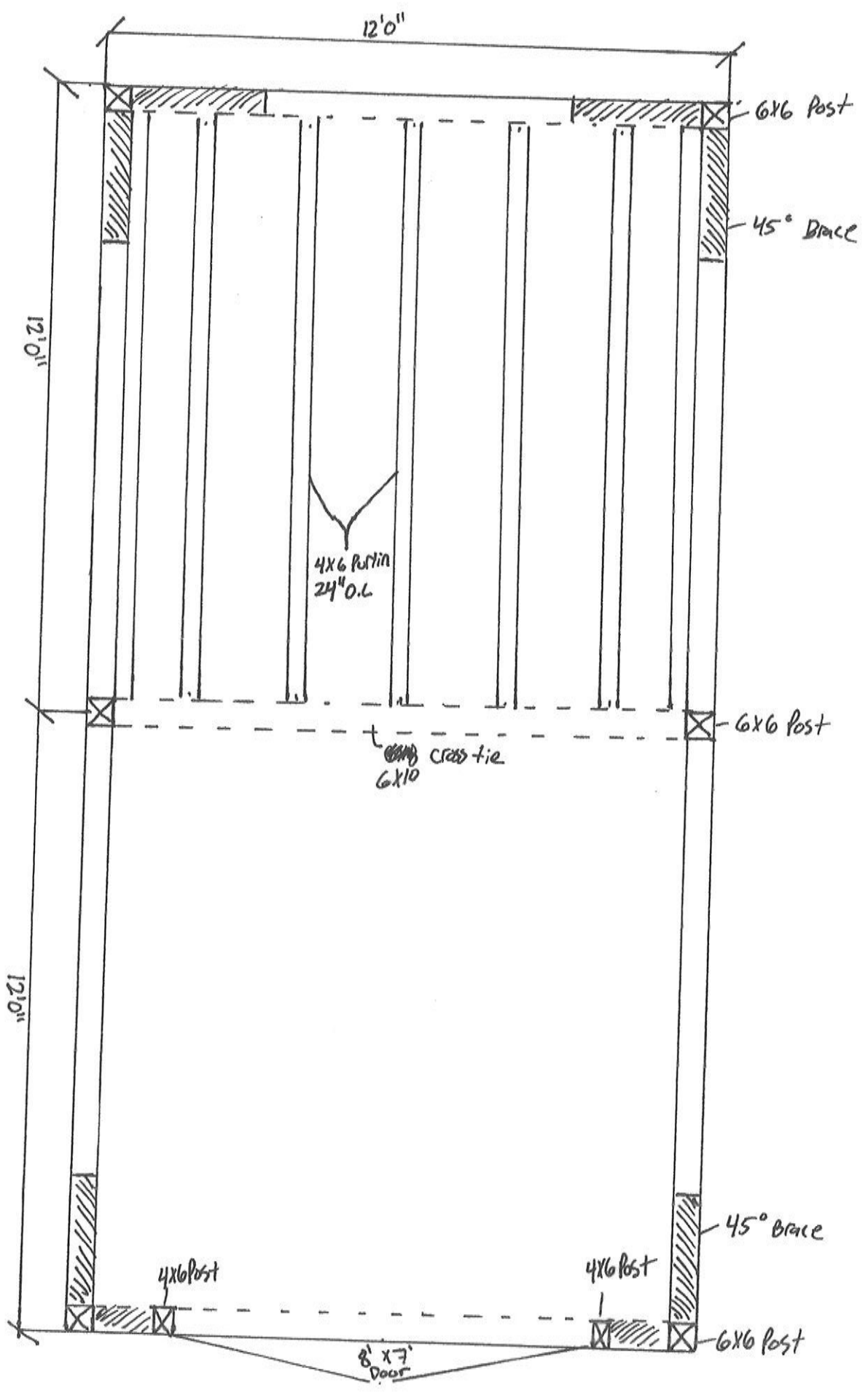




01:4/c

3/8" : 1'0"







100 feet Abutters List Report

Raymond, NH
January 29, 2024

Subject Property:

Parcel Number: 034-000-049-000
CAMA Number: 034-000-049-000-000
Property Address: 25 GLEN RIDGE ROAD

Mailing Address: BRIGHTMAN, KIM D.
25 GLEN RIDGE ROAD
RAYMOND, NH 03077

Abutters:

Parcel Number: 034-000-050-000
CAMA Number: 034-000-050-000-000
Property Address: 23 GLEN RIDGE ROAD

Mailing Address: COTE, STEPHEN P. NATALIE A.
ROTMAN COTE
23 GLEN RIDGE ROAD
RAYMOND, NH 03077

Parcel Number: 034-000-051-000
CAMA Number: 034-000-051-000-000
Property Address: 21 GLEN RIDGE ROAD

Mailing Address: WATERHOUSE REVOCABLE LIVING
TRUST JONATHAN & BETH VALERIE /
TRUSTEES
21 GLEN RIDGE ROAD
RAYMOND, NH 03077

Parcel Number: 035-000-004-000
CAMA Number: 035-000-004-000-000
Property Address: NOTTINGHAM ROAD

Mailing Address: RAYMOND, TOWN OF
4 EPPING STREET
RAYMOND, NH 03077

Parcel Number: 040-004-019-000
CAMA Number: 040-004-019-000-000
Property Address: 27 GLEN RIDGE ROAD

Mailing Address: SPINDALE, JOSEPH N. & LINDA L.
REVOCABLE TRUST OF JOSEPH N. &
LINDA L. SPINDALE / TRUSTEES
27 GLEN RIDGE ROAD
RAYMOND, NH 03077

Parcel Number: 040-004-022-000
CAMA Number: 040-004-022-000-000
Property Address: GLEN RIDGE ROAD

Mailing Address: RAYMOND, TOWN OF
4 EPPING STREET
RAYMOND, NH 03077

Parcel Number: 040-004-023-000
CAMA Number: 040-004-023-000-000
Property Address: 11 POPLAR DRIVE

Mailing Address: ROGERS, JOHN DANIELLE ROGERS
11 POPLAR DRIVE
RAYMOND, NH 03077



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

PANCIOCCO LAW, LLC

Patricia M. Panciocco *
*Admitted in NH & ME

One Club Acre Lane
Bedford, New Hampshire 03110
www.panciocolaw.com

Tel. 603-518-5370
Fax 603-206-5946
E-mail: Pat@panciocolaw.com

February 9, 2024

HAND-DELIVERED

Community & Economic Development Director
Town of Raymond
4 Epping Street
Raymond, NH 03077

RECEIVED

FEB 09 2024

TOWN OF RAYMOND

Re: Application for Appeal of Administrative Decision
Owner: Jessica Hatch
Property: Route 27 (Tax Map 32 Lot 69), Raymond NH

To Whom it may Concern:

Enclosed please find the following in connection with the above-referenced:

1. Original Application for Appeal of Administrative Decision;
2. Abutter List with 3 sets of mailing labels for each abutter;
3. Authorization from Jessica Hatch; and
4. Check in the amount of \$290.00 payable to the Town of Raymond (\$150.00 Application fee, 14 x \$10.00 Abutter Fees- \$140.00).

Please let this office know if you require additional information to process this application.

Sincerely,

Lynn Davis

Lynn Davis
Paralegal to Patricia M. Panciocco

Enclosures

cc: Client (via e-mail)
Daniel M. Flores, P.E. (via e-mail)



TOWN OF RAYMOND

Community Development Department
Office of Planning & Zoning
4 Epping Street
Raymond, NH 03077

RECEIVED

FEB 09 2024

TOWN OF RAYMOND
Tel: (603) 895-4735
Fax: (603) 895-0903
<http://www.raymondnh.gov>

Application for Appeal of Administrative Decision

Site Information

Property Address: Route 27

Map #: 32 Lot #: 69

Property Owner Information

Name: Jessica Hatch Phone: (603) 800-7051

Address: 119 Rockingham Road, Windham, New Hampshire 03087

Address: _____

Applicant/Agent Information

Name: Patricia M. Panciocco, Esquire Phone: (603) 518-5370

Address: One Club Acre Lane, Bedford, New Hampshire 03110

Address: _____

Complete the Following

1. Name and Title of person or board whose decision you are appealing:

Town of Raymond Planning Board

2. Date of the decision you are appealing:

January 11, 2024

3. Article & Section of the Zoning Ordinance involved:

Section 5.2.10.7

4. Nature of the decision you are appealing:

The Planning Board denied Owner's site plan application proposing propane storage, handling and delivery in the C-1 Zone. The basis of the Planning Board's decision was that Section 5.2.10.7 prohibits a "petroleum bulk plant or terminal" in the Groundwater Conservation Overlay District. However, 5.2.4.13 listing regulated products, and substances as those listed under 40 CFR 302, 7-1-05 edition, excludes propane and other liquified fuels which exist as gases at normal atmospheric temperature and pressure.

5. Reasoning for appeal:

The project successfully completed review by the Raymond Community Development and Planning department, the Raymond Technical Review Committee, and by Dubois & King, the Town's consulting engineer, as well as initially reviewed by the Rockingham County Planning Commission's circuit planner, and none of them questioned the proposed use of propane storage within the Groundwater Conservation Overlay District. Although NHDES regulates oil products, which it defines as synonymous with "petroleum and petroleum products" liquified propane is expressly excluded from this definition. RSA 146-A:2, III.

Signature of Applicant*

*If the applicant is not the property owner, then a notarized letter of permission from the property owner authorizing the applicant to represent their interests shall be provided.

Patricia M. Panciocco, Esq. Panciocco Law, LLC



Applicant's Signature*

February 9, 2024

Date

RECEIVED

FEB 09 2024

TOWN OF RAYMOND

LIST OF ABUTTER NOTIFICATIONS

February 8, 2024

TAX MAP/LOT	STREET ADDRESS	OWNER/APPLICANT
Tax Map 32 Lot 69	Route 27	Jessica Hatch (Owner/Applicant) 119 Rockingham Road Windham, NH 03077
TAX MAP/LOT	STREET ADDRESS	ABUTTERS
Tax Map 32 Lot 2-33 Tax Map 32 Lot 2-34 Tax Map 32 Lot 2-35	232 Route 27 236 Route 27 238 Route 27	Jodi M. & Amy M. Grant 236 Route 27 Raymond, NH 03077
Tax Map 32 Lot 2-37	Route 27	Jessica Hatch 119 Rockingham Road Windham, NH 03077
Tax Map 32 Lot 2-38	75 Long Hill Road	Jason M. Gourley Heather A. Marston 75 Long Hill Road Raymond, NH 03077
Tax Map 32 Lot 2-40	71 Long Hill Road	Eugene W. & Laura L. Roy 71 Long Hill Road Raymond, NH 03077
Tax Map 38 Lot 4-60	3 Old Cart Road	June A. & Harold L. Barnard 3 Old Cart Road Raymond, NH 03077
Tax Map 38 Lot 4-61	1 Old Cart Road	Robert S. Rouse 1 Old Cart Road Raymond, NH 03077
Tax Map 38 Lot 4-62	2 Old Cart Road	Katie A. Mills 2 Old Cart Road Raymond, NH 03077
Tax Map 38 Lot 4-125	Route 27	Tranquility Estates Cooperative, Inc. 8 Old Cart Road Raymond, NH 03077

LIST OF ABUTTER NOTIFICATIONS**February 8, 2024**

		PROFESSIONALS
	Attorney	Panciocco Law, LLC Attn: Patricia M. Panciocco, Esquire One Club Acre Lane Bedford, NH 03110
	Civil Engineer	SFC Engineering Partnership, Inc. Attn: Daniel M. Flores, PE 183 Rockingham Road, Unit 3 East Windham, NH 03087
	Land Surveyor	S&H Land Services LLC Attn: J. Robert Degan, LLC 141 Londonderry Turnpike Hooksett, NH 03106
	Soil Scientist	BSC Group Attn: Luke Hurley 150 Dow Street Manchester, NH 03101
	Fire Protection Engineer	SFC Engineering Partnership, Inc. Attn: Jeffrey M. Murphy, PE 183 Rockingham Road, Unit 3 East Windham, NH 03087

Jessica Hatch
119 Rockingham Road
Windham, NH 03077

Jodi M. & Amy M. Grant
236 Route 27
Raymond, NH 03077

Jessica Hatch
119 Rockingham Road
Windham, NH 03077

Jason M. Gourley
Heather A. Marston
75 Long Hill Road
Raymond, NH 03077

Eugene W. & Laura L. Roy
71 Long Hill Road
Raymond, NH 03077

June A. & Harold L. Barnard
3 Old Cart Road
Raymond, NH 03077

Robert S. Rouse
1 Old Cart Road
Raymond, NH 03077

Katie A. Mills
2 Old Cart Road
Raymond, NH 03077

Tranquility Estates Cooperative, Inc.
8 Old Cart Road
Raymond, NH 03077

Panciocco Law, LLC
Attn: Patricia M. Panciocco, Esq.
One Club Acre Lane
Bedford, NH 03110

SFC Engineering Partnership, Inc.
Attn: Daniel M. Flores, PE
183 Rockingham Road, Unit 3 East
Windham, NH 03087

S&H Land Services LLC
Attn: J. Robert Degan, LLC
141 Londonderry Turnpike
Hooksett, NH 03106

BSC Group
Attn: Luke Hurley
150 Dow Street
Manchester, NH 03101

SFC Engineering Partnership, Inc.
Attn: Jeffrey M. Murphy, PE
183 Rockingham Road, Unit 3 East
Windham, NH 03087

RECEIVED

FEB 09 2024

February 9, 2024


TOWN OF RAYMOND

To: Town of Raymond
Zoning Board of Adjustment
4 Epping Street
Raymond, NH 03077

Re: Route 27, Tax Map 32 Lot 69, Raymond, NH

I, the undersigned, owner of the property located on Route 27 in Raymond, New Hampshire (Tax Map 32 Lot 69); authorize Patricia M. Panciocco, Esquire of Panciocco Law, LLC to submit all necessary zoning applications to the Town of Raymond Zoning Board of Adjustment for the subject property.

Very truly yours,




Jessica Hatch

**STATE OF NEW HAMPSHIRE
COUNTY OF HILLSBOROUGH**

On this 9th day of February, 2024, personally appeared Jessica Hatch, known to me, or satisfactorily proven, to be the person whose name is subscribed to the foregoing instrument and acknowledged that she executed the same for the purposes therein contained, as her free act and deed.

Before me,



Notary Public
My Commission Expires: February 16, 2027



PANCIOCCO LAW, LLC

Patricia M. Panciocco *
*Admitted in NH & ME

One Club Acre Lane
Bedford, New Hampshire 03110
www.panciocolaw.com

Tel. 603-518-5370
Fax 603-206-5946
E-mail: Pat@panciocolaw.com

February 15, 2024

VIA E-MAIL ONLY - Planningtech@raymondnh.gov

Town of Raymond

Attn: Christine Aiello

4 Epping Street
Raymond, NH 03077

Re: Application for Appeal of Administrative Decision
Owner: Jessica Hatch
Property: Route 27 (Tax Map 32 Lot 69), Raymond NH

Dear Christine:

This letter requests the Zoning Board continue the February 28, 2024 public hearing scheduled on the above-referenced matter to March 27, 2024 as I am out of the state on a previously scheduled trip. Ms. Hatch assents to this continuance. Please let me know if Ms. Hatch's attendance will be required on the 28th.

Should you have any questions, please feel free to contact this office. Thank you.

Sincerely yours,

Patricia M. Panciocco

Patricia M. Panciocco

cc: Client



December 6, 2023

Jason Cleghorn, Community & Economic Development Director
Raymond Community Development & Planning
4 Epping Street
Raymond, NH 03077

RE: **Site Plan Review Application – Map 32 Lot 69**

Dear Sir,

On behalf of Jessica Hatch, landowner, SFC Engineering (SFC) respectfully submits this application for site plan review for property located on tax map 32 lot 69 fronting on NH Rout 27. We request to be placed on the agenda for the next available Planning Board hearing.

Enclosed please find:

- A completed Site Plan Review Application package, which includes:
 1. Signed site plan review application & checklist
 2. Signed Conditional Use Permit application
 3. Waiver request
 4. Notarized Letter of Authorization from property owner
 5. Abutters list with tax map
 6. Project Narrative
 7. Traffic Impact Analysis
 8. Future building specifications
 9. Copy of proof of submittal to Dubois & King
- Application fee: **\$2,062** check payable to Town of Raymond
- Funds to establish planning escrow account in accordance with fee schedule (**\$1,250**)
- (3) copies of mailing labels
- (6) full-size copies of the site plan set dated November 8, 2023
- (10) 11x17 copies of the site plan set dated November 8, 2023
- Drainage report with drainage plans
- Complete plan set in pdf form emailed to Raymond Community Development

Sincerely,

SFC ENGINEERING PARTNERSHIP, INC.

A handwritten signature in blue ink, appearing to read 'Daniel M. Flores', with a horizontal line extending to the right.

Daniel M. Flores, P.E.
Project Manager



Map # 32 Lot # 69

Site Plan Review Application

Town of Raymond, NH

Project Name: Fuel NRG Raymond

Location: NH Route 27 Raymond, NH

Project Description: New development consisting of a 30,000 gallon above ground liquid propane tank with fueling area and truck parking and future 1,200 sf commercial building and 30,000 gallon above ground liquid propane tank.

Zone: C1 New Industrial/Commercial Square Footage: 1,200 or Number of Residential Units: _____

Applicant/Agent Information:

Name: Daniel M. Flores, PE (agent)

Phone: 603-361-3294 Fax: _____

Company: SFC Engineering Partnership, Inc.

Address: 183 Rockingham Road Unit 3 East, Windham, NH 03087

By signing this application, you are agreeing to all rules and regulations of the Town of Raymond, and are agreeing to allow agents of the Town of Raymond to conduct inspections of your property during normal business hours to ensure compliance with all Raymond Zoning and Site Plan Review Regulations while your application is under consideration and during any construction and operational phases after approval is granted.

Signed* [Signature] Date: 12/5/2023

*Requires notarized letter of permission

Owner Information:

Name: Jessica Hatch

Phone: 603-777-0386 Fax: _____

Company: Fuel NRG

Address: 119 Rockingham Road, Windham, NH 03087

Signed: [Signature] Date: 12/5/2023

Designers of Record: (Provide Name & License Number for each)

Engineer: Daniel M. Flores, PE #15761

Surveyor: J. Robert Degan, LLS #986

Soil Scientist: Luke D. Hurley #95

Landscape Architect: See waiver request

Fire Protection Engineer: Jeffrey M. Murphy, PE #12996

Other(s): n/a

FEES: See attached Fee Schedule

For Office Use Only:

Date Application Received: _____ Total Fees Collected w/Application: _____

Abutters List Received: _____ Plans & Checklist Received: _____

Appendix II

Site Plan Review Fees

Sample Chart Using 180 sf per space	
1	\$ 514.80
2	\$ 579.60
3	\$ 644.40
4	\$ 709.20
5	\$ 774.00
6	\$ 838.80
7	\$ 903.60
8	\$ 968.40
9	\$ 1,183.20
10	\$ 1,248.00
11	\$ 1,312.80
12	\$ 1,377.60
13	\$ 1,442.40
14	\$ 1,657.20
15	\$ 1,722.00
16	\$ 1,786.80
17	\$ 1,851.60
18	\$ 1,916.40
19	\$ 2,131.20
20	\$ 2,196.00
21	\$ 2,260.80
22	\$ 2,325.60
23	\$ 2,390.40

Base Rate: **\$ 300.00**

(Includes staff wages with a 23 % roll-up rate)

Variable Costs (per newly created space): **\$ 0.36**

	<u>Units - SF</u>
POV Spaces:	180
Handicap Accessible Spaces:	320
Tractor Trailer	600

CALCULATE APPLICATION FEE

PARKING AREA CALCULATION

AUTO PARKING: 3 X 180 SF = 540 SF

HANDICAP SPACE: 1 X 320 = 320 SF

TRUCK PARKING: 25' X 128' = 3200 SF

TOTAL PARKING AREA = 4060 SF

TOTAL PARKING FEE: (4060 SF X \$0.36) + (1.5 X \$300) = \$1,912

NOTIFICATIONS CALCULATION

10 ABUTTERS + 1 LAND OWNER + 4 PROFESSIONALS = 15

TOTAL NOTIFICATION FEE: 15 X \$10 = \$150

TOTAL APPLICATION FEE = \$2,062

ABUTTERS FEE: \$10.00 PER NOTICE

Escrow Deposits for Legal/Engineering/Other Peer Review Expenses¹	
Minimum Fee (Discretion of the Technical Review Committee):	\$ 1,250.00
Disturbed Area² - Up to 5 Acres:	\$ 2,500.00
Up to 10 Acres	\$ 3,250.00
Up to 15 Acres:	\$ 4,000.00
Up to 20 Acres:	\$ 4,500.00
Over 20 Acres, but less than 30 acres:	\$ 5,000.00
Over 30 Acres - To be determined by Town Engineer/Legal Counsel	TBD

¹ Once a balance is reduced to 50% of the original deposit, the applicant shall replenish it to 100%.

² Disturbed area is defined as: That portion of the site that is altered due to construction of streets, roadways, parking areas, utilities, buildings or other physical improvements, including earth excavation, removal or alteration.

Site Plan Review Checklist

TOWN OF RAYMOND, NH

PROJECT NAME Fuel NRG

MAP# 32 LOT # 69 APPLICATION DATE _____ APPLICATION # _____

A copy of all plans and technical reports must be sent to the Town engineer. Proof of submittal must be provided to the Community Development Department at the time of application. If proof of transmittal is not provided, the application may be delayed until the following month's Planning Board meeting. Address is: Dubois & King, 15 Constitution Dr. Suite 1L, Bedford NH 03110, ATTN: Ross Tsantoulis.

SUBMITTED

YES NO

1. Name of project; names and addresses of owners of record; Tax map and lot number.

2. Name, license number and seal of surveyor or other persons, north arrow, scale and date of plan; signature block.

3. Vicinity sketch and zoning district(s).

4. Abutters and uses of abutting land within 200 feet of the site.

5. Shape, size, height, location and use of existing and proposed structures located on the site and within 200 feet of the site.

6. Boundary lines, dimensions and bearings; lots area in acres And square feet and total disturbed area in square feet.

7. Location, name and widths of any existing and proposed roads on the property and within 200 feet of the site

8. Location of existing and proposed sidewalks and driveways, with indication of travel for both pedestrian and vehicular traffic.

9. Access to the site, sight distance at access point(s), curb cuts and any proposed changes to existing streets; copy of driveway permit.

10. Location and number of parking spaces; loading spaces.

11. Location, type and nature of all existing and proposed Landscaping and screening.

12. Location, type and nature of all existing and proposed exterior lighting.

13. Natural features (streams, ponds, wetlands, etc.)

14. Waste/dumpster locations and snow storage areas

WAIVED

YES NO

Site Plan Review Checklist

TOWN OF RAYMOND, NH

SUBMITTED			WAIVED	
YES	NO		YES	NO
<input checked="" type="checkbox"/>	<input type="checkbox"/>	15. Existing and proposed grades and contours, including base Flood elevation where appropriate.	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	16. Size and location of all existing and proposed water mains, sewers, culverts, and distances to the existing fire hydrants, cisterns and/ or fire ponds.	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	17. Copy of certification from septic designer as to sufficiency of system.	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	18. Location and type of proposed waste water disposal system; Outline of 4,000 sq. ft. area; test pits; record of percolation tests.	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	19. Existing and proposed Storm water drainage system.	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	20. Location of existing and proposed on-site well (showing required radius on the property.)	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	21. Soil survey data (see: requirements for soils and wetlands data)	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	22. Location of any existing or proposed easements, deed restrictions, covenants.	<input type="checkbox"/>	<input type="checkbox"/>
OTHER:				
<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Any federal, state or local permits.	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	2. Building elevations and design	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3. Sign location and design	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	4. Copies of any proposed or existing easements, deed restrictions, covenants, and street deeds.	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	5. Such additional studies as may be required.	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	6. Six (6) full-size copies of all plans and ten (10) copies of all plans in 11 X 17 format, and digital copy of plans. *	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7. Three (3) copies of all studies*	<input type="checkbox"/>	<input type="checkbox"/>
FEES				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Application Fees		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	2. Abutters Notice Fees <i>(to include three (3) labels per abutter)</i>		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3. Engineering and Legal Review Escrow		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. Site Review-Administrative Fee		

Plans and reports were submitted to Town engineer on December 6, 2023 via USPS priority mail with signature confirmation. See receipt below with tracking number.

Town Engineer Address:

Dubois & King
Attn: Ross Tsantoulis
15 Constitution Drive
Suite 1L
Bedford, NH 03110


DERRY
24 TSIENNETO RD
DERRY, NH 03038-1599
(800)275-8777

12/06/2023 09:47 AM

Product	Qty	Unit Price	Price
Priority Mail® Bedford, NH 03110 Weight: 1 lb 13.00 oz Expected Delivery Date Thu 12/07/2023 Tracking #: 9510 8152 1516 3340 0915 50	1		\$9.80
Insurance Up to \$100.00 included			\$0.00
Signature Confirm			\$4.05
Total			\$13.85
Grand Total:			\$13.85
Credit Card Remit			\$13.85
Card Name: VISA Account #: XXXXXXXXXXXX1572 Approval #: 01438G Transaction #: 895 AID: AC000000031010 Chip AL: VISA CREDIT PIN: Not Required CAPITAL ONE VISA			



Application for Conditional Use Permit Groundwater Conservation Overlay District Town of Raymond, NH

Conditional Use Permits are Subject to Site Plan Approval by the Planning Board Raymond Zoning Ordinance, Article 5, Section 5.2

Map # 32 Lot # 69 Application Date 12/6/2023 Application # _____

Project Name: Fuel NRG Raymond

Location: Route 27 Raymond, NH Map #32 Lot #69

Zone: C1 New Industrial/Commercial Square Footage: 1,200 or Number of Residential Units: _____

Applicant/Agent Information:

Name: Daniel M. Flores, PE (agent) Phone: 603-361-3294

Company: SFC Engineering Partnership, Inc. Fax: _____

Address: 183 Rockingham Road Unit 3 East, Windham, NH 03087

Signed*: [Signature] Date: 12/5/2023

Please Check All that Apply:

5.2.11. CONDITIONAL USES: The issuance of a Conditional Use Permit is subject to Site Plan Approval by the Planning Board. The Planning Board may grant a Conditional Use Permit for a use that is otherwise permitted within the underlying district, if the permitted use is or is involved in one or more of the following:

5.2.11.1. Storage, handling, and use of regulated substances in quantities exceeding 100 gallons or 800 pounds dry weight at any one time, provided that an adequate spill prevention, control and countermeasure (SPCC) plan prepared in accordance with [Section 5.2.7](#) by a qualified professional, submitted to the Technical Review Committee for review and approval, with the final plan also submitted to the Raymond Fire Department and the Raymond Community Development Department for its records. The Technical Review Committee may employ the services of a qualified peer review professional to review the plan at the applicant's expense.

5.2.11.2. Any use that will render impervious more than 15% or 2,500 square feet of any lot, whichever is greater.

5.2.11.3

In granting such approval the Planning Board must first determine that the proposed use is not a prohibited use and will be in compliance with the Performance Standards as well as all applicable local, state and federal requirements. The Planning Board may, at its discretion, require a performance guaranty or bond, in an amount and with surety conditions satisfactory to the Board, to be posted to ensure completion of construction of any facilities required for compliance with the Performance Standards. The amount of this bond shall be in addition to any other bond required by the Board under either the Subdivision or Site Plan Review Regulations.

(Continued)



Application for Conditional Use Permit *Groundwater Conservation Overlay District* Town of Raymond, NH

If you chose 5.2.11.1, above, you must provide a SPCC plan in accordance with the following:

5.2.7 SPILL PREVENTION, CONTROL AND COUNTERMEASURE (SPCC) PLAN: Conditional Uses, as described under [Section 5.2.11](#) of this Ordinance shall submit a spill control and countermeasure (SPCC) plan to the Technical Review Committee (TRC) who shall determine whether the plan will prevent, contain, and minimize releases from ordinary or catastrophic events such as spills, floods or fires that may cause large releases of regulated substances. It shall include:

- 5.2.7.1 A description of the physical layout and a facility diagram, including all surrounding surface waters and wellhead protection areas;
- 5.2.7.2 Contact list and phone numbers for the facility response coordinator, cleanup contractors, and all appropriate federal, state, and local agencies who must be contacted in case of a release to the environment;
- 5.2.7.3 A list of all regulated substances in use and locations of use and storage;
- 5.2.7.4 A prediction of the direction, rate of flow, and total quantity of regulated substance that could be released where industry experience indicates a potential for equipment failure;
- 5.2.7.5 A description of containment and/or diversionary structures or equipment to prevent regulated substances from infiltrating into the ground; and
- 5.2.7.6 Emergency response plan describing and assigning responsibilities and actions to be taken.

Raymond NH Planning Board Waiver Request Form

Applicable to Site Plan Review and Subdivision Regulations

Project Name & Application Number:

Regulation, Article & Section from which a waiver is being sought:

Section 3.03.03(c) of the Raymond Site Plan regulations, which requires a landscape plan prepared by a New Hampshire Licensed Landscape Architect.

Where the Planning Board finds that unnecessary hardship may result from strict compliance with these regulations with respect to a particular tract of land, the Board may modify or waive these regulations so that substantial justice may be done and the public interest is secured, provided that:

Please respond to the criteria below:

- a. Explain how the granting of the waiver will not be detrimental to public safety, health, or welfare or injurious to other adjacent property;

The project has been design to be set off the road, and to retain a natural vegetated buffer. The property sits adjacent to the Tranquility Estates mobile home park, which abuts it to the north and east. We keep development 50' away from the property lines abutting the residential development. The property also abuts Dudley Brook to the south. We keep the development over 75' from the wetland, allowing natural vegetation to remain.

The proposed bioretention area for stormwater management will be a grasslined bioretention area. A grasslined bioretention area differs from a conventional bioretention area in that grass is provided versus native plantings. Grasslined bioretention areas are an accepted practice by NHDES Alteration of Terrain Bureau. The UNH Stormwater Center has found that grass provides equal or better stormwater treatment than conventional native plantings, while proving to be a hardier vegetation with less need for upkeep.

The proposed alternatives will provide natural vegetative screening, and an industry-acceptable stormwater management approach without need for a plan prepared by a New Hampshire Licensed Landscape Architect.

- b. Explain how granting this waiver shall not have the effect of nullifying the intent and purpose of these regulations, the Zoning Ordinance, Master Plan or Official Zoning Map;

Granting this waiver will not nullify the intent and purpose of these regulations, the Zoning Ordinance, Master Plan, or Official Zoning Map in that the project has been designed to retain natural vegetation to the maximum extent. Doing so achieves the desire of providing vegetated screening to adjacent residential property, and providing a vegetated buffer to the natural resource (Dudley Brook and adjacent wetlands).

In granting waivers, the Planning Board may require such conditions as will, in the Board's judgment, secure substantially the objectives of the standards or requirements of these regulations.

A petition for waiver shall be submitted by the applicant at the time when the application is filed for consideration by the Planning Board. All petitions shall be made in writing using the Town's Waiver Request Form. The petition shall state fully the grounds for the waiver and all of the facts relied upon by the petitioner.

Any granted waivers must be noted on the final approved plan.

New Hampshire Department of Environmental Services (NHDES)

Alteration of Terrain Newsletter

November 2019 - Email #51

Optimizing Treatment for Phosphorus and Nitrogen

A rule effective in August 2017, Env-Wq 1503.11(h) through (j), requires that for projects in certain locations, the applicant must demonstrate that there is not a net increase in phosphorous and/or nitrogen as a result of the project. The areas where stormwater must optimize for treatment of both nutrients are in watersheds of Outstanding Resources Waters, and Class A surface waters. These areas are delineated on the DES GIS Datamapper under the Alteration of Terrain screening layers.

Phosphorus and nitrogen treatment is best provided in subsurface gravel wetlands, or in enhanced biofiltration systems which include an internal storage reservoir (enhanced bio with ISR).

Although the BMP performance curves show high removal rates for nitrogen for infiltration systems, anaerobic treatment of nitrogen is necessary for high removal rates of dissolved inorganic nitrogen (DIN), which is a major concern in stormwater because it is the most bioavailable form of nitrogen. The anaerobic environments present in a gravel wetland or enhanced bio with ISR provide high removal rates for DIN. However, because gravel wetlands or enhanced bio with ISR do not infiltrate stormwater, some treatment for phosphorus is lost, and enhancements to the filter media are required to improve treatment for this pollutant.

The UNH Stormwater Center is developing a specification for enhanced bio with ISR. We hope to have this specification available in the coming months. In the meantime, please utilize gravel wetlands when necessary to treat for both phosphorous and nitrogen.

When it's necessary to provide optimized treatment only for N, gravel wetlands, or enhanced bio with ISR, should be used. When necessary to optimize treatment only for P, infiltration or non-underdrained filtration should be used. For enhanced phosphorous removal, drinking water residuals or iron filings at 5 percent (by volume) can be added to the filter media.

Vegetation in Bioretention Basins

The UNH Stormwater Center recommends the use of grass on the bottom of bioretention basins. Although prohibited by Env-Wq 1508.07 (k)(6) for surface filters, DES allows (and actually encourages) the use of grass. Grass is more easily maintained, and it appears that the root structure may be more effective than roots of individual plantings in supporting an open structure in the soil and therefore helping to maintain infiltration rates.

Housekeeping Edits to BMP

A revised Excel file was posted on our website in July. There were no revisions to the calculations, only formatting changes and clarification of the notations on the far right side of the sheets. The revised file can be downloaded at https://www.des.nh.gov/organization/divisions/water/aot/documents/bmp_worksh.xls.

To be sure you're using the most accurate worksheets, we recommend you download them from our website for each project.

December 5, 2023

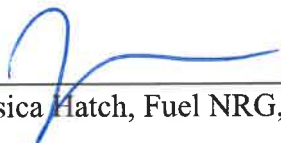
Town of Raymond
Community Development & Planning
4 Epping Street
Raymond, NH 03077

RE: Owner Authorization - Map 32 Lot 69

To Whom it May Concern,

SFC Engineering Partnership, Inc. is authorized to represent Jessica Hatch, property owner, throughout the local approval process for proposed development of their property identified as Raymond tax map 32 lot 69.

Sincerely,



Jessica Hatch, Fuel NRG, Landowner

12/5/23
Date

This instrument was acknowledged before me on this 5 day of December,
2023.

Notary Public:  My commission expires: _____

WENDY CHAMBERS
NOTARY PUBLIC
State of New Hampshire
My Commission Expires
October 7, 2025



100 feet Abutters List Report

Raymond, NH
December 04, 2023

Subject Property:

Parcel Number: 032-000-069-000
CAMA Number: 032-000-069-000-000
Property Address: ROUTE 27

Mailing Address: HATCH, JESSICA
119 ROCKINGHAM ROAD
WINDHAM, NH 03077

Abutters:

Parcel Number: 032-002-033-000
CAMA Number: 032-002-033-000-000
Property Address: 232 ROUTE 27

Mailing Address: GRANT, JODI M. & AMY M.
236 ROUTE 27
RAYMOND, NH 03077

Parcel Number: 032-002-034-000
CAMA Number: 032-002-034-000-000
Property Address: 236 ROUTE 27

Mailing Address: GRANT, JODI M & AMY M
236 ROUTE 27
RAYMOND, NH 03077

Parcel Number: 032-002-035-000
CAMA Number: 032-002-035-000-000
Property Address: 238 ROUTE 27

Mailing Address: GRANT, JODI M & AMY M
236 ROUTE 27
RAYMOND, NH 03077

Parcel Number: 032-002-037-000
CAMA Number: 032-002-037-000-000
Property Address: ROUTE 27

Mailing Address: HATCH, JESSICA
119 ROCKINGHAM ROAD
WINDHAM, NH 03077

Parcel Number: 032-002-038-000
CAMA Number: 032-002-038-000-000
Property Address: 75 LONG HILL ROAD

Mailing Address: GOURLEY, JASON M. HEATHER A.
MARSTON
75 LONG HILL ROAD
RAYMOND, NH 03077

Parcel Number: 032-002-040-000
CAMA Number: 032-002-040-000-000
Property Address: 71 LONG HILL ROAD

Mailing Address: ROY, EUGENE W & LAURA L
71 LONG HILL ROAD
RAYMOND, NH 03077

Parcel Number: 038-004-125-060
CAMA Number: 038-004-060-000-000
Property Address: 3 OLD CART ROAD

Mailing Address: BARNARD, HAROLD L JUNE A
BARNARD
3 OLD CART ROAD
RAYMOND, NH 03077

Parcel Number: 038-004-125-061
CAMA Number: 038-004-061-000-000
Property Address: 1 OLD CART ROAD

Mailing Address: ROUSE, ROBERT S.
1 OLD CART ROAD
RAYMOND, NH 03077-4201

Parcel Number: 038-004-125-062
CAMA Number: 038-004-062-000-000
Property Address: 2 OLD CART ROAD

Mailing Address: MILLS, KATIE A.
2 OLD CART ROAD
RAYMOND, NH 03077

Parcel Number: 038-004-125-000
CAMA Number: 038-004-125-000-000
Property Address: ROUTE 27

Mailing Address: TRANQUILITY ESTATES
COOPERATIVE, INC.
8 OLD CART ROAD
RAYMOND, NH 03077

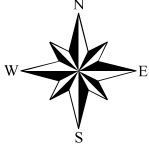


www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

12/4/2023

Page 1 of 1



Fuel NRG Raymond

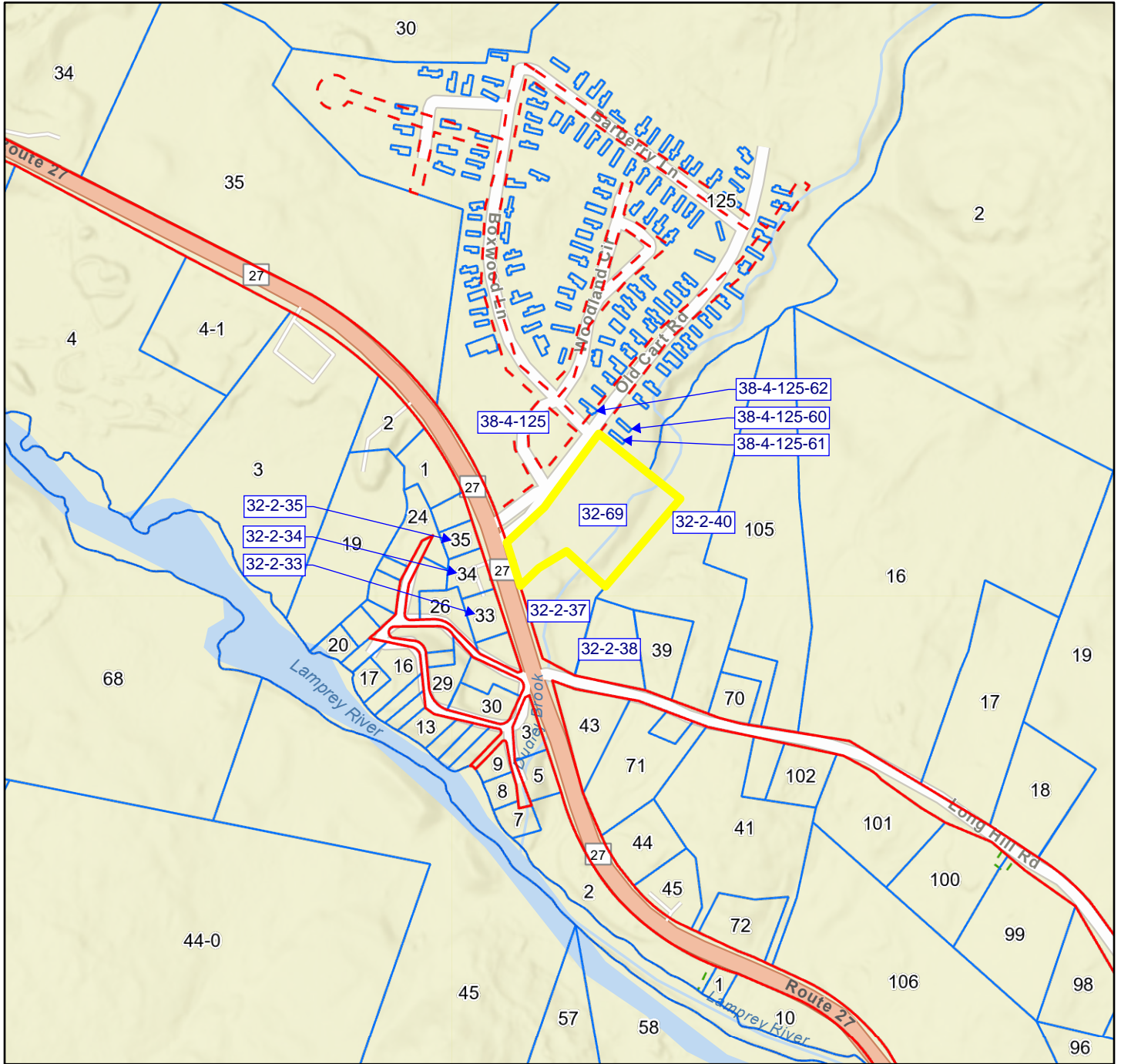
Town of Raymond, NH

1 inch = 500 Feet



www.cai-tech.com

November 9, 2023



	CAI Town Line		PUBLIC ROW		Easement
	Parcel - Poly		PARCEL		World Hillshade
	PRIVATE ROW		WATER		

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

CIVIL
ENGINEER

SFC Engineering Partnership, Inc.
Attn: Daniel M. Flores, PE
183 Rockingham Road, Unit 3 East
Windham, NH 03087

LAND
SURVEYOR

S&H Land Services LLC
Attn: J. Robert Degan, LLS
141 Londonderry Turnpike
Hooksett, NH 03106

SOIL
SCIENTIST

BSC Group
Attn: Luke Hurley
150 Dow Street
Manchester, NH 03101

FIRE
PROTECTION
ENGINEER

SFC Engineering Partnership, Inc.
Attn: Jeffrey M. Murphy, PE
183 Rockingham Road, Unit 3 East
Windham, NH 03087

PROJECT NARRATIVE

FUEL NRG
MAP 32, LOT 69
ROUTE 27

A. PROJECT DESCRIPTION

Fuel NRG proposes the development of a 30,000 gallon above ground liquid propane tank, fueling area, tank storage, and associated access drive and parking area on the vacant property located on NH Route 27 (tax map 32 lot 69). Future development is depicted that will include a 30' x 40' commercial building with parking, a second 30,000-gallon liquid propane tank, a well, septic system, and fire cistern with pump house.

B. EXISTING CONDITIONS

The property is identified as lot 69 on tax map 32 consisting of 3.8± acres fronting NH Route 27 at the intersection of Old Cart Road (private road). The property is undeveloped, consisting of woodlands and meadow areas. Dudley Brook forms the southeasterly boundary of the property. Tranquility Estates mobile home park abuts the property to the north and east.

The property is flat, with a drop in the terrain at the lot center, and a further drop forming the embankment of Dudley Brook. A jurisdictional wetland abuts the brook, with no wetlands within the lot. Soils primarily consist of Hinckley loamy sand with seasonal water table greater than 72". No portion of the parcel is located within a flood hazard area, as interpreted from the FEMA Flood Insurance Rate Map for the Town of Raymond, Community-Panel number 33015C0187E dated May 17, 2005.

C. PROPOSED DEVELOPMENT

Proposed development includes a fenced 30,000-gallon above ground liquid propane tank, gravel fueling area, gravel area with canopy for parking of up to 10 trucks, and a fenced gravel area for smaller tank storage. The site will accommodate future development consisting of a second 30,000-gallon liquid propane tank, a 30' by 40' single story commercial building with parking, pole barn over truck parking area, a private water well and septic system to support the building, and up to 30,000 gallons of fire cistern with fire pump building. Note that the cistern and fire pump are proposed for the future building, not for the liquid propane tanks.

D. ZONING REVIEW

The property is primarily located in the Commercial C1 zone, with a small portion at the southeasterly corner in the Residential/Agricultural B zone. The proposed use is permitted in the C1 zone as a commercial service establishment.

Required property line setbacks are met with the proposed development. Note that we hold a 50' setback to land abutting the Tranquility Estates mobile home park.

Dudley Brook is not subject to NH Protected Shoreland (RSA 483-B); however, the wetlands abutting the brook require a 75' setback. Note that no development is proposed within this 75' wetland setback.

The parcel is located within Raymond's Groundwater Conservation Overlay District, which requires a Conditional Use Permit for storage, handling, and use of regulated substances in quantities exceeding 100 gallons or 800 pounds dry weight, or if greater than 15% of the lot area is made impervious. The post development impervious area will equal 23.5% of the lot area. A conditional use permit application is included.

E. WAIVER REQUESTS

Our application includes a request to waiver section 3.03.03(c) of the Raymond Site Plan regulations, which requires a landscape plan prepared by a New Hampshire Licensed Landscape Architect.

F. ENVIRONMENTAL CONSIDERATIONS

The property abuts Dudley Brook, which includes jurisdictional wetlands delineated along the edge of the water. The property is located within Raymond's Groundwater Conservation Overlay District due to location within the Wellhead Protection Area (see Exhibit A for NHDES Data Mapper).

The property is well suited for the proposed development: there are no wetlands within the project area and the terrain is mostly flat. The property is not within a flood hazard area.

In order to protect the integrity of the brook, we have designed the site to exceed Raymond's 75' wetland setback, allowing natural vegetation to remain. We have also designed the site to grade all runoff to a large bioretention area, positioned between the proposed development and the brook.

Liquid propane does not have the potential for environmental impacts, such as storage of fuel oils. Being a pressurized gas, liquid propane, if a leak were to occur, will not impact groundwater.

G. STORMWATER MANAGEMENT

A stormwater management report has been prepared for the proposed development. The stormwater management system has been designed in accordance with section 6.11 of the Raymond Site Plan Regulations.

A bioretention area will be located southeasterly of the fueling area to capture stormwater runoff from the proposed development (both current and future phases). The bioretention area has been designed to capture, treat, and infiltrate runoff while reducing peak flows and volumes.

H. WATER SUPPLY AND SEPTIC SERVICE

The current phase with just the bulk fuel tank will not require water supply or septic service.

The future phase development depicts locations of a private well and an Individual Sewage Disposal System (ISDS). Both are designed to meet applicable local and state standards.

I. FIRE PROTECTION

The project plan set includes a sheet titled Fire Protection Site Plan. This plan depicts maneuvering for a fire apparatus, as well as review of applicable codes.

Note that the current phase fire protection needs for the bulk fuel tank will be met by the existing dry hydrant located near the intersection of Route 27 and Long Hill Road.

The future phase development will require installation of a fire cistern with fire pump to serve a sprinkler system that will be required in the buildings.

J. ADDITIONAL PERMITTING

The current phase development will require the following land use permits:

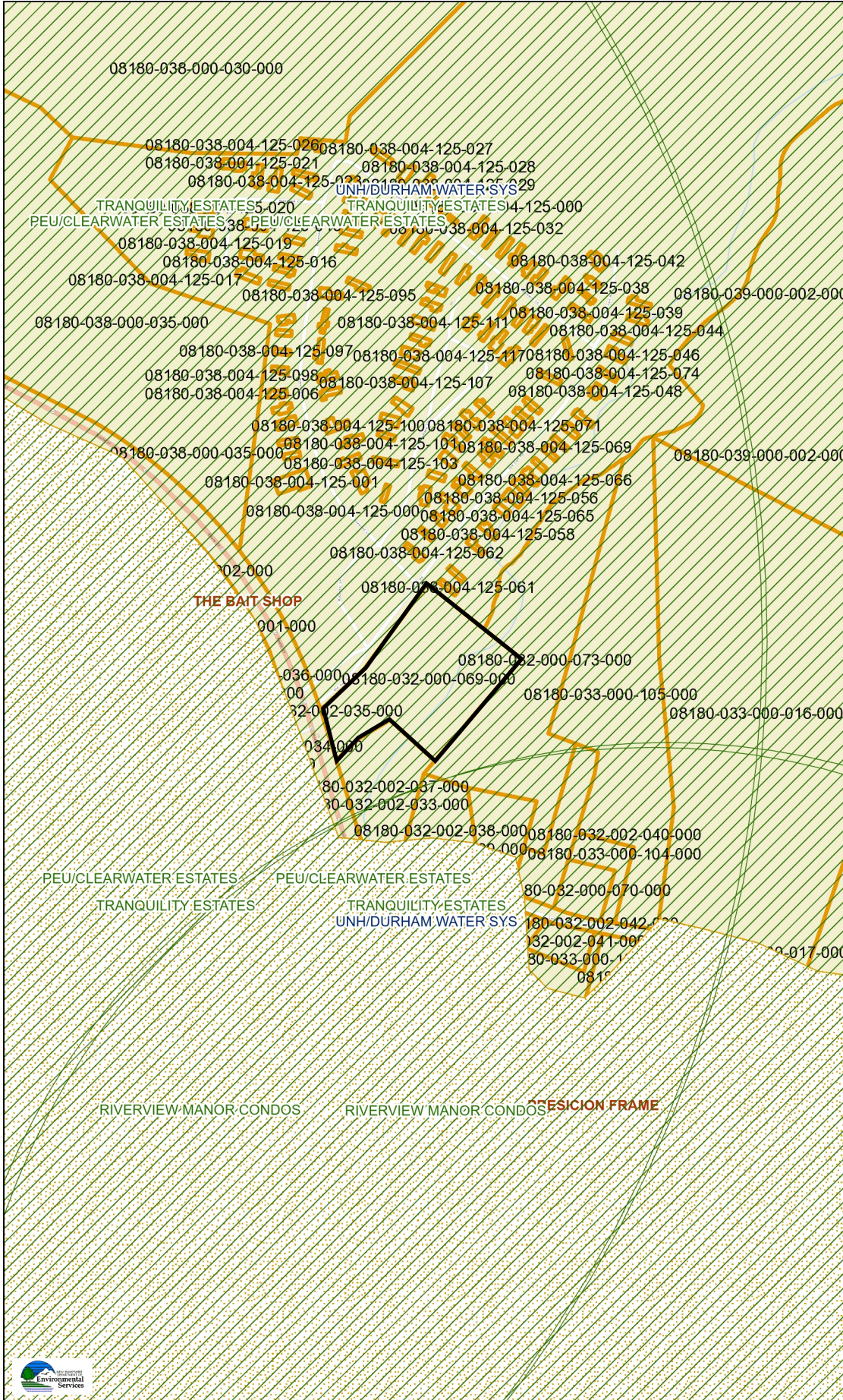
1. NHDOT driveway permit. Application for a driveway permit was submitted to NHDOT on November 21, 2023.
2. Notice of Intent (NOI) with Storm Water Pollution Prevention Plan (SWPPP). An NOI must be filed with the EPA for 14 days prior to construction for coverage under the federal Construction General Permit (CGP) for construction activities that impact more than 1 acre.

The future phase development will require the following permits:

1. NHDES Construction Approval. The ISDS will require local review and approval prior to application to NHDES Subsurface Bureau.

-END-

Map 32 Lot 69



- Legend**
- Wellhead Protection Areas
 - Groundwater Classification / GAA
 - Source Water Protection Area
 - Groundwater Classification / GA1
 - Groundwater Classification / GA2
 - Local Potential Contaminating Sources
 - Parcels
 - Additional Lines

Map Scale
 1: 5,000
 © NH DES, <http://des.nh.gov>
 Map Generated: 12/4/2023



Notes



TRAFFIC IMPACT ASSESSMENT

FUEL NRG
MAP 32, LOT 69
ROUTE 27

A. PROJECT DESCRIPTION

Fuel NRG proposes the development of a 30,000 gallon above ground liquid propane tank, fueling area, tank storage, and associated access drive and parking area on the vacant property located on NH Route 27 (tax map 32 lot 69). Future development is depicted that will include a 30' x 40' commercial building with parking, a second 30,000-gallon liquid propane tank, a well, septic system, and fire cistern with pump house.

B. ANTICIPATED TRAFFIC

The initial phase will include buildout of the 30,000-gallon liquid propane bulk fuel tank. This tank will serve the owner's fleet of 4 bobtail delivery trucks for fuel delivery in the local area. Parking will be provided for the 4 bobtail delivery trucks and the owner's fleet of 6 HVAC box trucks that provide service and installation to customers. For each truck, the owner anticipates an employee arriving in the morning to pick up the truck, then not returning until the end of the day, where the truck will be parked overnight. The bobtail delivery trucks will fuel up in the morning with sufficient fuel for their delivery route that day. The owner anticipates that a tanker truck will be needed once per week to refill the bulk fuel tank.

The future phase will include construction of a small office with retail space. The office will house on average one employee. The retail space will allow a customer to come to a showroom to see HVAC options. The owner anticipates perhaps 5 customers on a busy day.

C. TRAFFIC IMPACT

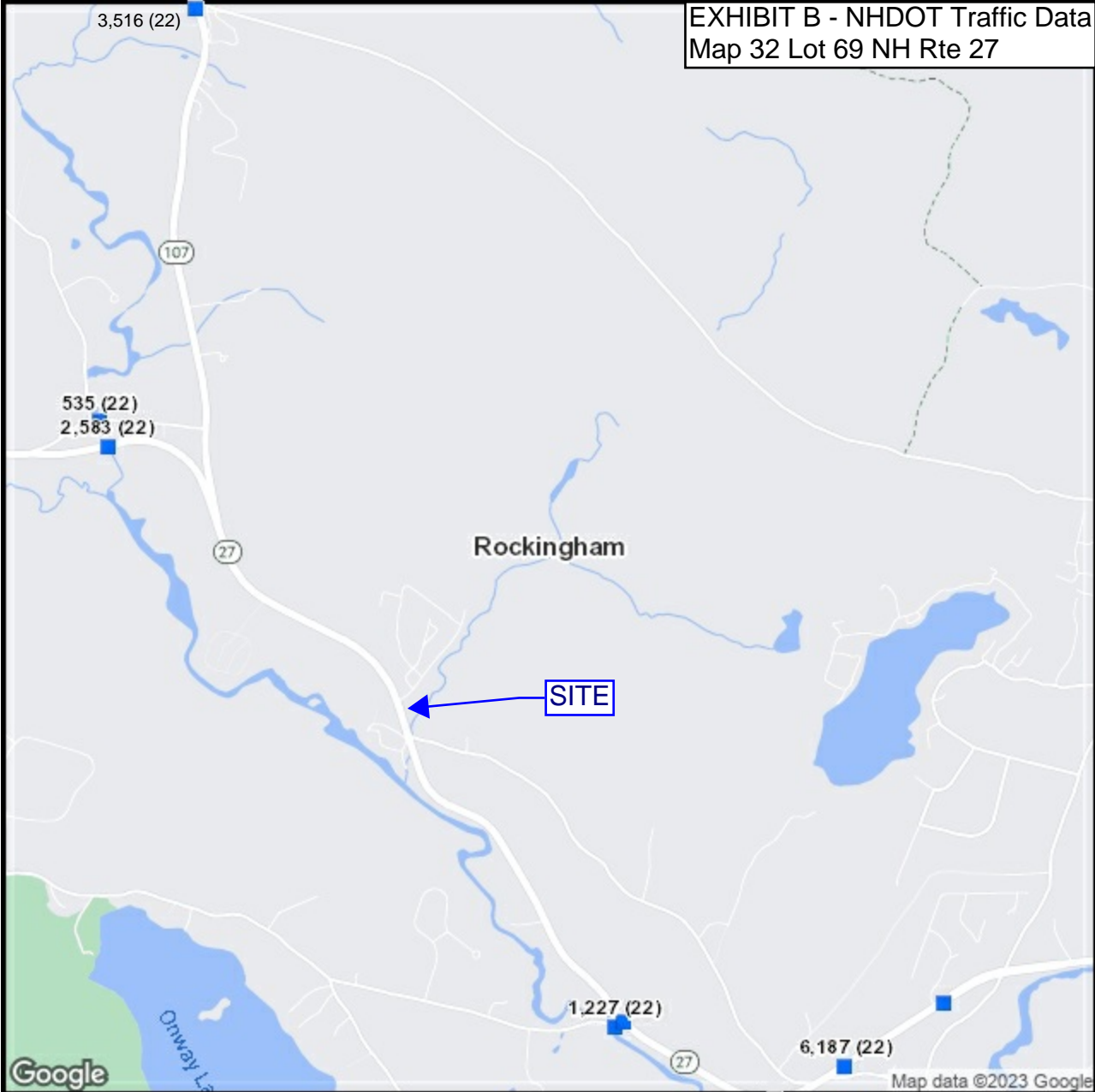
Review of the NHDOT Transport Data Management System provides Annual Average Daily Traffic (AADT) records on Route 27. See exhibit B for this data, which is copied below:

- Location ID 62115052 located north of the site with 2022 AADT of 3516 trips.
- Location ID 82383108 located south of the site with 2022 AADT of 6187 trips.

Based on the use of the property, we anticipate 54 average daily trips. This represents an increase in trips on the road of approximately 1.5%. It is concluded that the proposed development will have a negligible impact on traffic on Route 27.

-END-

EXHIBIT B - NHDOT Traffic Data
Map 32 Lot 69 NH Rte 27



0 3000 6000



Feet



TCDS Locations

- Short
- Continuous
- WIM
- Located Short
- Located Continuous
- Located WIM
- Inactive Location



12/1/2023

Building #1 Specifications

Building Info	Style	Width	Height	Length	Truss Spacing	Roof Pitch	Lower Chord	Peak Height	Soffit Height
	306	30'	14'	40'	8'		4/12	0/12	20' 6.5"

306 30'x14'x40' (#1) - Building Use: Commercial - Office and Warehouse

Foundation

Formed Concrete Foundation Wall with Spread Footing and Isolated Floor Slab (Form 222 - Detail #4/4B)(Form 222 – Detail #4) (By owner)

Laminated wood columns to be mounted to concrete foundation with steel column sockets using adhesive anchor rods, unless a professional engineer or design loads require other anchoring system.

Treated Wood splashboard system.

Siding

South, East, North, West wall(s) Fluoroflex™ 1000 Hi-Rib Steel Minimum .019 (Fastened with Stainless Steel Screws)

Wainscot

South, East, North, West with 36" tall Fluoroflex™ 1000 Hi-Rib Steel Minimum .019 wainscot (Fastened with Stainless Steel Screws)

Protective Liner

South, East, North, West wall(s) with 7/16" thick OSB by approx. 32" tall Protective Liner

Roof

Hi-Rib Steel Minimum .019 (Fluoroflex™ 1000) (Fastened with Stainless Steel Screws) with Vent-A-Ridge
Structure has been designed for the future installation of a snow retainage system (but not included at this time).

Overhangs

South, North wall(s) 1' Wide Vented Sidewall Overhang with Standard 6" fascia, 5" Gutters and 3"x4" Downspouts, with elbows at base
East, West wall(s) 1' Wide Non Vented Endwall Overhang with Standard 6" fascia

Walk Doors

- 1 A 3' x 6'8" 9 Lite Tempered Glass in Leaf with Embossed Crossbuck Fibersteel Walk Door(s) out-swing right hinge with interconnected lever lockset/deadbolt, closer
- 1 B Framed Opening - 3070 Glass Entry Door out-swing right hinge
Door Unit Not Included

Windows

- 6 C 3'4"x4'0" MB Single Hung Window(s) with low E glass with argon, grids between the glass

Overhead Door Opening

- 1 D 12'0" x 12'0" Overhead Door Opening (Requires a minimum 12' 2" X 12' 1" panel), OHD/ Operator requires 0' Headroom, Available Headroom is 2' 1"

Porches

- 1 40' lineal feet of coverage, 8' wide Porch with 4/12 Pitch, approx. 12' 1" grade to porch frame
 Start porch on South wall 0' from left edge of building for 40'
 Start of porch open and end of porch open
 Roof of porch to be Fluoroflex™ 1000 Hi-Rib Steel Minimum .019
 Morton Foundation System of concrete lower in ground with laminated wood column upper.
 Porch Frames with Soffit Under Porch
 1' sidewall overhang with 5" Gutters and 3"x4" Downspouts, 1' overhang on West end and 1' overhang on East end

Eyebrows

- 1 E 28 lineal feet of coverage, 2' wide Eyebrow, 6" fascia and 10/12 roof pitch, 8' grade to soffit
 Start eyebrow on West wall 1 feet from left edge of building for 28 feet
 Start of eyebrow Hipped End and end of eyebrow Hipped End
 Roof of eyebrow to be Fluoroflex™ 1000 Hi-Rib Steel
 with 5" Gutter

Energy Performer

1200 sq. ft Ceiling Finish with Hi-Rib Steel (.019 White CQ Polyester Solid) Fastened to Lower Chord of Truss with Painted Steel Screws, 4 Mil Vapor Retarder and Air Deflector at Eaves Between Trusses

Interior Wall with 2"x4" Horizontal Stripping at 16" On Centers, Wall Cavity is Insulated with 6" Fiberglass Insulation and 4 Mil Vapor Retarder.

40' long, on South wall starting @ 0'

30' long, on East wall starting @ 0'

40' long, on North wall starting @ 0'

30' long, on West wall starting @ 0'

Subcontracts

Install [1,200] Sq Ft of R-[49] fiberglass blown-in insulation in the attic area of the [30]' x [14]' x [40]' Morton Building.



MORTON™ BUILDINGS, INC.

252 W. Adams, P.O. Box 399 • Morton, Illinois 61550-0399

Date:

8/22/2023

Page:

4 of 8

306 30'x14'x40' West and South Walls





MORTON™ BUILDINGS, INC.

252 W. Adams, P.O. Box 399 • Morton, Illinois 61550-0399

Date:

8/22/2023

Page:

5 of 8

306 30'x14'x40' East and North Walls



TRC Fuel NRG 04JAN2024

Roll Call

Dan Flores

Jeff Murphy

Chief Michael Labell

Jason Cleghorn

Rich Nunziato

Scott Keddy

Sarah Whearty

Jason Grant

Chief Paul Hammond

Christine Aiello

Meeting Presentation

The property is on 3.8 acres on Dudley Brook not Shoreland. There will be one 30,000-gallon liquid propane tank stored above ground. There will be 4 bobtail trucks on the premises and 1 tanker truck will be used weekly. The parking area allows for 10 trucks and will have bulk fuel storage. There will be an office, small showroom, and the ability to pay bills on location. During Phase 2 of the project, well and septic will be built to support the office.

The remaining permits needed for the project are the septic system, updated site plan, and the DOT driveway permits. The hours of operation will be about 7 or 8 AM start time and a 4 or 5 PM end time, Monday through Friday. The truck will deliver fuel in the morning and return in the afternoon. The tanker truck will refill the site between weekly or monthly depending on the supply during off hours.

The property will have fences around the tank area. The driveway will have a swing gate with a lock box for entry to act more as a deterrent gate. The slope grade of the driveway ranges from 1.78° to 6.5° to 1.0°. This still passes all fire regulations. The bioretention area will be a grass area as it is more effective than planting and mulch. There are only two test pits as the soil in these areas is similar to the rest of the surrounding areas.

The environmental impact of liquid propane is very minimal. As this is an above-ground tank, if any leakage occurs, the propane will evaporate. Propane is n the same as regular fuel which would contaminate the surrounding area. Propane is stored in the liquid form as it is pressurized gas. The vapor is what will be burned for energy. The gas is heavier than air. It is flammable, but once it contacts water, it will dissipate. There will be a large buffer for parking, along with a vertical curb around the parking area that will be added to the revised plans. As vertical impact prevention cannot affect stormwater runoff, there was discussion of using jersey barriers versus bollards.

For fire protection, a cistern will be built along with underground storage. There will be a fire extinguisher on site along with excess flow valves. The tanks used for storage will also have internal valves which will prevent exposure to propane if a breakage were to occur. All employees will have proper training for handling the tanks, propane, and emergency plans. All snow removal within the fenced in area with the tanks will be removed by hand. There will be 5-foot-wide gates in these areas to allow for entry as necessary. There may be potential for off-site monitoring for CCTV pending the necessity. The fire safety analysis will be provided once the draft is done for the checklist of the application. There is Zone G land in this area which will result in a conditional use permit.

January 10, 2024

Jason Cleghorn, Director
Raymond Community Development
4 Epping Street
Raymond, NH 03077
communitydevdirector@raymondnh.gov

RE: **DuBois & King Review Comments for Fuel NRG
Tax Map 32 Lot 69**

Mr. Jason Cleghorn,

SFC Engineering Partnership, Inc. (SFC) is in receipt of the review comments for the Fuel NRG project located at Raymond tax map 32 lot 69. Below provides the review comments with SFC answers in **blue**.

Community Development Review Comments received by email on January 3, 2024:

1. Note 3A on sheet C2 needs to be amended to be clearer that the second propane tank is a future planned tank and that only one tank is being proposed at this time.

Note 3 has been revised as requested.

2. The notes in Note 3 sheet C2 need to be relettered as they are out of order.

Note 3 has been revised as requested.

3. Label clearly the limits of clearing separately from what is established on the plan as the tree line.

Limits of clearing have been denoted with a new line. Also see note #22 added to sheet C2.

4. The truck canopy lighting needs to be shown on the site plan unless it is mounted under the overhang of the roof. Add a detail if the lighting proposed there is different from the rest of the lighting shown on the plan.

The intent is for the lighting shown on the lighting plan to be sufficient for the yard lighting. Any lighting for the truck canopy will be placed under the overhang to light the immediate area covered by the canopy. Note #15 has been revised on sheet C2.

5. A copy of the NHDOT Driveway Permit will be required prior to final plan signature and a Town of Raymond Driveway Permit may be required. We can clarify with DPW at TRC tomorrow.

**NHDOT issued driveway permit number 05-383-0025 dated January 2, 2024 (copy attached).
Note #23 has been added to sheet C2.**

6. Fire will be prepared to discuss Phase 1 fire protection with you tomorrow at TRC.

No comment.

7. It will be important to discuss the hours of operation and days of the week, etc. with the Planning Board at the meeting.

The owner states normal business hours will be Monday through Friday 8 am to 4:30 pm.

DuBois & King Review Comments dated January 3, 2024:

Boundary Plan, Sheet TSC5

1. We recommend the abutting landowner to the west side of the property be identified on the plan, in accordance with Town of Raymond, Site Plan Review Regulations, Section 5.02.02.

We request to not make these changes and instead treat this sheet as a standalone for the purpose of providing a stamped boundary plan prepared by a NH Licensed Land Surveyor. We instead show this information on the project existing conditions plan (sheet C1).

2. We recommend the Applicant locate all building setbacks required by the Zoning Ordinance, in accordance with Town of Raymond, Site Plan Review Regulations, Section 5.02.13. It appears the setback line for the east side of the property is missing for both zone B and C1.

See response to number 1 above.

Existing Conditions Plan, Sheet C1

1. The existing conditions plan shall be stamped by a Licensed NH Land Surveyor in accordance with Town of Raymond, Site Plan Review Regulations, Section 5.02.04.

Raymond Site Plan Review Regulations (RSPR) Section 5.02.04 states “The boundary lines of the area included in the site, including distance and bearings of the lines, dimensions and the lot area, prepared and stamped by a Licensed New Hampshire Land Surveyor.” This information is included in the Boundary Plan (Sheet TSC5) bearing the stamp of a Licensed New Hampshire Land Surveyor.

Note that NH RSA 310-A:2 (IV) allows for “engineering surveys” by licensed Professional Engineers as follows:

"Engineering surveys" means any surveying activities required to support the sound conception, planning, design, construction, maintenance, and operation of engineering projects by persons licensed under this subdivision, but shall exclude the surveying of real property for the establishment or reestablishment of land boundaries, rights-of-way, easements, and the dependent or independent surveys or resurveys of the public land survey system.

The project existing conditions plan (sheet C1) has been stamped by a licensed NH professional engineer.

The plans meet the requirements of the RSPR.

2. It appears that the property is located in both commercial zone C1 and residential/agricultural zone B. We recommend adding the area and dimensional requirements from Table 15 for zone B.

This information has been added to note #8 of the plan.

3. Location of site, tax map and lot number, current name(s) and address(es) of the owner(s) of record and abutting landowners shall be identified on the plan in accordance with Town of Raymond, Site Plan Review Regulations, Section 5.02.02.

This information has been added to the plan.

4. Adjacent streets (including their widths), drives, and structures within 200 feet of the site boundaries should be shown on the plan in accordance with Town of Raymond, Site Plan Review Regulations, Section 5.02.06.

This information has been added to the plan.

5. The footprint and height of the existing buildings on the site, and within 200 feet of the site boundaries, should be shown in accordance with Town of Raymond, Site Plan Review Regulations, Section 5.02.07.

This information has been added to the plan.

6. The use of the abutting buildings should be identified on the plans in accordance with Town of Raymond, Site Plan Review Regulations, Section 5.02.09.

This information has been added to the plan.

7. On-site and off-site (within 200 feet of the site boundaries) existing private and public utilities (including sewer, septic tanks, propane tanks and stormwater pipes inverts, sizes and slopes) should be identified on the plan in accordance with Town of Raymond, Site Plan Review Regulations, Section 5.02.10.

This information has been added to the plan.

8. A description of NRCS soil types shall be included on the plan, in accordance with Town of Raymond, Site Plan Review Regulations, Section 5.02.11.

The NRCS soil lines have been added to the plan. Soils have been added to the plan as note #11.

9. All building setbacks should be shown on the plans in accordance with Town of Raymond, Site Plan Review Regulations, Section 5.02.13.

All required setbacks are shown on the plan.

Site Development Plan, Sheet C2

1. Proposed driveways, parking spaces and sidewalk should show indication of direction of travel in accordance with Town of Raymond, Site Plan Review Regulations, Section 5.03.03.

Direction of travel arrows are included on the plan.

2. A curb or a substantial bumper of masonry, concrete or bituminous concrete shall border all parking areas in accordance with Town of Raymond, Site Plan Review Regulations, Section 6.06.04b.

The plan has been revised to show curbing at the future parking lot. Bituminous concrete curb detail has been added to sheet C8.

3. We recommend the Applicant revise the plan to indicate the proposed loading spaces and facilities associated with the structure on site in accordance with Town of Raymond, Site Plan Review Regulations, Section 5.03.04.

The loading space at the overhead door of the future building has been labeled.

4. The annotation for the future 30,000 gallon cistern appears to point to two different structures. Please clarify.

The label points to the fire cistern (depicted as 2 tanks) and the fire pump building to be attached to the back of the future commercial building.

5. No detail has been provided for the Vehicle Impact Protection. Please provide an explanation as to what this entails. If it is a raised concrete barrier, it will affect the Time of Concentration (Tc) lines shown on the proposed drainage plans.

The plan label has been revised to call for bollards. See the bollard detail on sheet C8.

Site Grading & Utility Plan, Sheet C3

1. We recommend that the Applicant provide additional spot elevations (including office entrances) for the proposed building and parking lot edges to better clarify the intent of grading.

Spot elevations have been added to the plan.

2. In compliance with the ADA, the maximum slope allowed for accessible parking is 2.08% in all directions.

The added spot elevations demonstrate that this requirement is met.

3. It appears that in the eastern corner of the gravel parking area there is a conflict between the proposed grading contours and the proposed spot elevations.

The proposed contour has been revised.

4. The maximum grade for access drives is 5% in accordance with Town of Raymond, Site Plan Review Regulations, Section 6.08.04. Particularly where the site will be used by large trucks carrying fuel, we recommend the applicant review and revise the slope of the access drive as necessary.

Raymond Site Plan Review Regulations (RSPR) Section 6.08.04 deals with the loading area surface. We believe the reviewer meant to reference Section 6.07.04, which states "The minimum grade for parking areas shall be 0.5%. The maximum grade shall be 5%." We see nowhere in the RSPR that limits access drives to a 5% grade.

The designed access drive has a maximum grade of 6.5% over approximately 90' of length. The grade allows passage of a fire truck without issue.

5. In accordance with the New Hampshire Stormwater Manual, Volume 2, Table 2-2., for infiltration basins with an area of 2,500 sf or more the minimum number of test pits / borings required is 2 (two). We recommend that the Applicant will provide another test pit for the 4,500 sf infiltration basin.

We request that one test pit at the bioretention location be acceptable. The second test pit observed in similar topography at the septic area shows soils to be consistent throughout the area.

Fire Protection Site Plan, Sheet C4

1. We recommend that the Applicant meet with the Fire Department to review the protection activities, in accordance with Town of Raymond, Site Plan Regulations, Section 6.09.01.

Review with the Fire Department has been conducted.

2. We recommend that the Applicant should provide information if the fire truck turning movement path is in accordance with Town of Raymond, Fire Department standard fire trucks.

The turning path depicted conforms to Raymond requirements.

Lighting Plan, Sheet C5

1. We recommend that the Applicant show the location of all proposed light poles on the plan.

We have revised the 5 light poles to be more visible on the plan.

Construction Details Plan, Sheet C7 and C8

1. We recommend that the Applicant review the Bioretention System / Infiltration Basin detail (sheet C7) regarding the proposed media elevation and pond bottom area elevation and revise as necessary.

The detail has been revised and corrected.

2. We recommend that all future improvements be annotated such that there is a clear distinction between proposed (current) improvements and future improvements.

The details for future development have been noted as such on the plans.

3. The applicant should clarify if the parking area profile detail on Sheet C7 is associated with the immediate proposed improvements or future development.

This has been designated as future on the plan.

4. The pavement details on Sheet C8 include different base specifications. We recommend using the Pavement Detail at Paved Driveway for all paved areas; however, a note could be added that testing of existing materials can be done and if it is found to be within acceptable limits for Bank run gravel, native material may be substituted for the Bank run gravel layer.

The pavement detail for the future parking area has been deleted. The note as suggested has been added to the remaining pavement detail.

Stormwater Management Report and Pre- and Post-Development Drainage Plan

1. We recommend showing the total area and the average CN value for pre- and post-developed drainage (page 3, Stormwater Management Report).

This has been added to the report – see sections F and G (page 2 of 3) of the drainage report.

2. The Time of Concentration (T_c) lines on both the pre- and post-development drainage plans should be reviewed and revised as necessary.

They have been reviewed and no changes are required.

3. It appears that the impervious area associated with future paved parking, future sidewalk and the commercial building were not included in the drainage analysis for subcatchment 2P in the post-developed drainage report. We recommend reviewing and revising the calculations as necessary.

The future phase was included in the modeling. The HydroCAD area listing has been revised to show this in Appendix D of the report.

4. We recommend clarifying the drainage flow from the future building, parking and sidewalk area. Based on the post-developed plan, it appears that another point of analysis or a closed drainage system will be necessary to route the flow to the proposed infiltration basin 4B.

Subcatchment 3P has been added to include the future parking area, half the future building, and land at the northwesterly lot corner flowing to a catch basin that outlets at the bioretention area.

5. In the drainage report, the bottom elevation of the infiltration basin 4B is shown as 216.75 (media elevation). We recommend reviewing and revising the media elevation based on comment 1, Construction Details Plan, C7 and C8. Additionally, we recommend reviewing the required depth to SHWT in accordance with the NH Stormwater Manual Volume 2 (minimum of 3' from the bottom to SHWT).

The media elevation is correct at 216.75. We have revised the detail to show 24" of media depth and to remove the crushed stone below the media.

The bioretention area has been designed in conformance with Env-Wq 1508.08(i)(2) for a practice located within a groundwater protection area or water supply intake protection area, which allows a 12" separation to SHWT with a media depth of 24". SHWT is based on test pit #2 having a depth of 72" with no evidence of water table observed. The existing grade high contour at the bioretention is approximately elevation 221, resulting in greater than 12" separation to SHWT.

6. It appears that there is a discrepancy between the pond bottom area (value of 2,155 SF on the bioretention system detail) compared to 4,500 SF in the drainage report. We recommend that the Applicant review and revise the value as necessary.

The detail has been revised to show 4,500 sf.

Sincerely,
SFC ENGINEERING PARTNERSHIP, INC.


Daniel M. Flores, P.E.
Project Manager

REFERENCE PLANS

- "A MAP OF A SUBDIVISION TO BE KNOWN AS MARTY'S STOP, OWNED BY JEAN R. & RITA L. DUBE AND SITUATED IN RAYMOND, N.H." DATED OCTOBER 17, 1975 AND PREPARED BY R.S.L. LAYOUT & DESIGN. R.C.R.D. PLAN #D-5511.
- "PROPERTY IN THE TOWN OF RAYMOND, N.H., LEISURE VILLAGE MOBILE HOME COMMUNITY" LAST REVISED AUGUST 13, 1984 AND PREPARED BY HOLDEN ENGINEERING & SURVEYING, INC. R.C.R.D. PLAN #D-12875.
- "PLAN AND PROFILE OF PROPOSED FEDERAL AID PROJECT NO. 240-D, SOUTH SIDE ROAD, TOWNS OF CANDIA - RAYMOND, ROCKINGHAM COUNTY" DATED 1932 AND PREPARED BY THE STATE OF NEW HAMPSHIRE STATE HIGHWAY DEPARTMENT. ON FILE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.

TAX MAP 38 LOT 4-125
 TRANQUILITY ESTATES
 COOP, INC.
 8 OLD CART ROAD
 RAYMOND, NH 03077
 BK: 6321 PG: 989

TAX MAP 32 LOT 2-40
 EUGENE W. & LAURA L. ROY
 71 LONG HILL ROAD
 RAYMOND, NH 03077
 BK: 2620 PG: 1518

TAX MAP 32 LOT 69
 166,100 S.F.±
 3.8 ACRES±

TAX MAP 32 LOT 2-37
 EMILE R. JR. & CHRISTINE BUSSIÈRE
 JACQUELINE BUSSIÈRE &
 MICHELLE MARSHALL
 15 NORTH STREET
 MANCHESTER, NH 03104
 BK: 4745 PG: 1706

TAX MAP 32 LOT 2-34
 JODI M. & AMY M. GRANT
 236 ROUTE 27
 RAYMOND, NH 03077
 BK: 3168 PG: 95

TAX MAP 32 LOT 2-33
 JODI M. & AMY M. GRANT
 236 ROUTE 27
 RAYMOND, NH 03077
 BK: 3754 PG: 1815

5/8" REBAR
 FOUND DOWN 1"

7/8" REBAR
 FOUND FLUSH

SYMBOL LEGEND

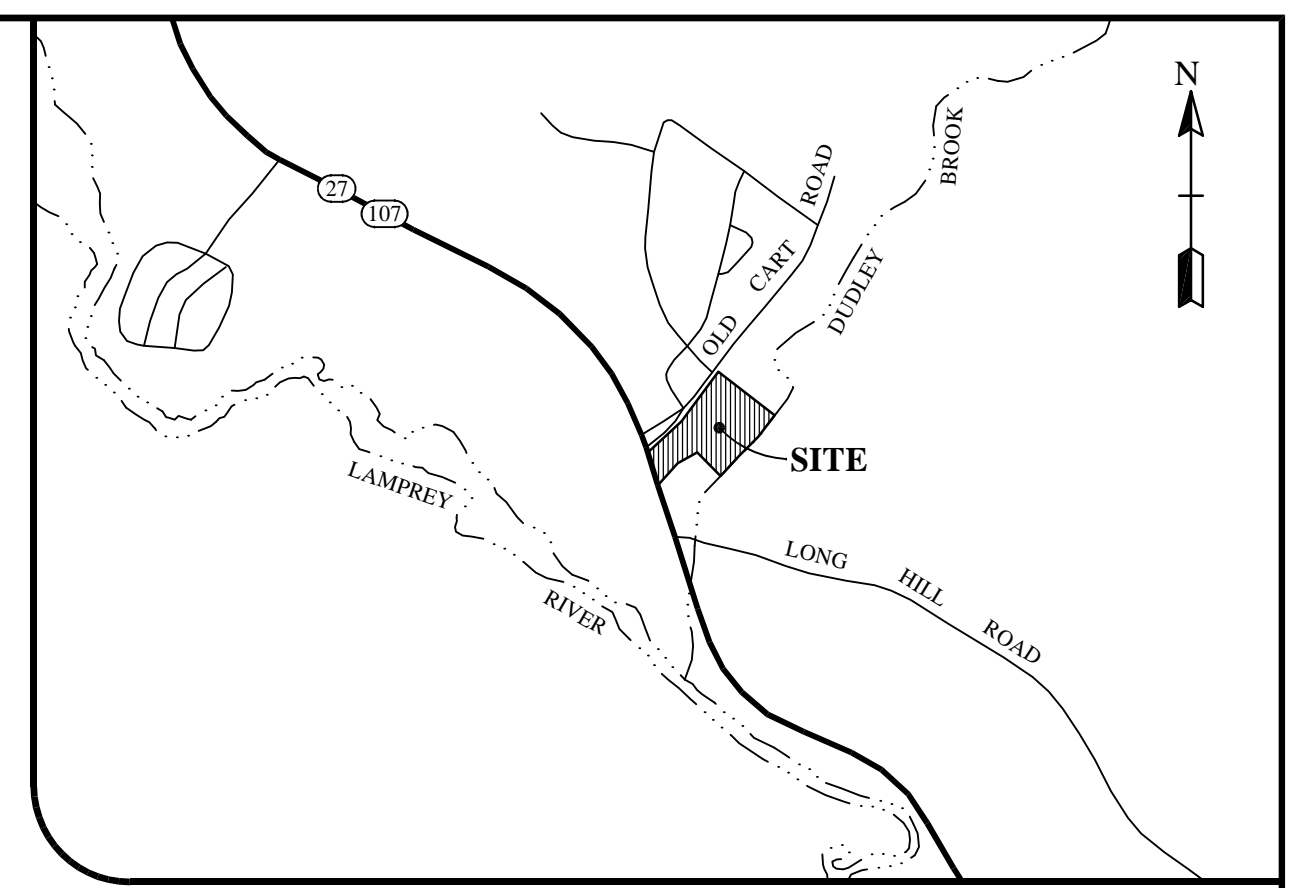
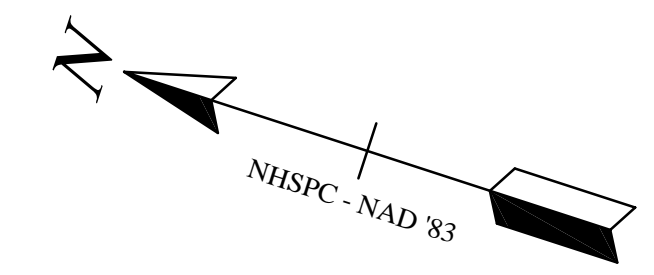
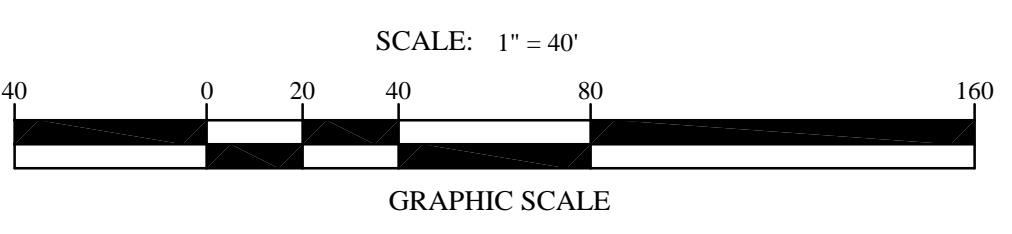
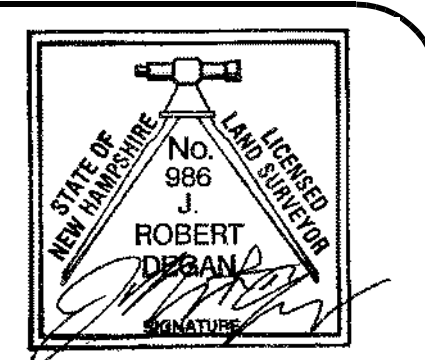
- MONUMENT TO BE SET
- BOUND FOUND
- REBAR FOUND
- ⊕ UTILITY POLE
- EDGE OF PAVEMENT
- OVERHEAD WIRES
- - - EDGE OF WETLAND
- · - · - EDGE OF WATER

SURVEYOR'S CERTIFICATION

"I HEREBY CERTIFY THAT THIS SURVEY AND PLAT WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000)."

[Signature]
 LICENSED LAND SURVEYOR

11/16/2023
 DATE



LOCUS MAP
 NOT TO SCALE

NOTES

- OWNER OF RECORD:
 TAX MAP 32 LOT 69
 JESSICA HATCH
 119 ROCKINGHAM ROAD
 WINDHAM, NH 03087
 BK: 6509 PG: 874
- THE INTENT OF THIS PLAN IS TO SHOW THE BOUNDARY OF THE SUBJECT PARCEL AND THE IMPROVEMENTS THEREON.
- THE SUBJECT PARCEL IS ZONED "C1" AND "B". DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS:

ZONE:	C1	B
MIN. LOT SIZE:	21,780 SQ FT (0.5 AC.)	87,120 SQ FT (2.0 AC.)
MIN. FRONTAGE:	50 FEET	200 FEET

 MINIMUM BUILDING SETBACKS:
 FRONT = 15 FEET 30 FEET
 SIDE = 15 FEET 30 FEET
 REAR = 15 FEET 30 FEET
- THIS PLAN REPRESENTS EXISTING CONDITIONS, BOUNDARY EVIDENCE, AND MONUMENTATION AS OBSERVED DURING A SURVEY BY THIS OFFICE IN OCTOBER 2023.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 1% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ROCKINGHAM COUNTY, NEW HAMPSHIRE. MAP NUMBER 33015C 0187E. EFFECTIVE DATE MAY 17, 2005.
- ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. THIS OFFICE HAS NOT LOCATED ANY UNDERGROUND UTILITIES. ALWAYS CALL DIG SAFE TO MARK OUT UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION ACTIVITIES.
- THIS OFFICE WAS UNABLE TO RECOVER ANY HIGHWAY BOUNDS FOR THE ROUTE 27 / 107 R-O-W. R-O-W SHOWN IS BASED ON THE CENTERLINE OF THE EXISTING ROADWAY.

BOUNDARY PLAN
TAX MAP 32 LOT 69
 PREPARED FOR:
JESSICA HATCH
 LOCATED AT:
N.H. ROUTE 27
RAYMOND, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

S&H LAND SERVICES, LLC
SHLANDSERVICES.COM
 141 LONDONDERRY TURNPIKE - HOOKSETT, NH 03106
 PHONE: (603)-628-8500, FAX: (603)-546-7791

SCALE: 1" = 40' DATE: NOVEMBER 8, 2023 TSCS JOB #2023244

Drawing: 666760 Site Development Layout: Site Development_C2

Drawing name: K:\666760 Fuel NRG - Map 32 Lot 09 Rte 27 Raymond NH\AutoCAD\Final\666760 Site Development.dwg

WAIVER REQUEST

THIS SITE PLAN INCLUDES A REQUEST TO WAIVE SECTION 3.03(3)(C) OF THE RAYMOND SITE PLAN REGULATIONS THAT REQUIRES A LANDSCAPE PLAN PREPARED BY A NEW HAMPSHIRE LICENSED LANDSCAPE ARCHITECT.

RPM 38-4-125

RPM 32-2-35

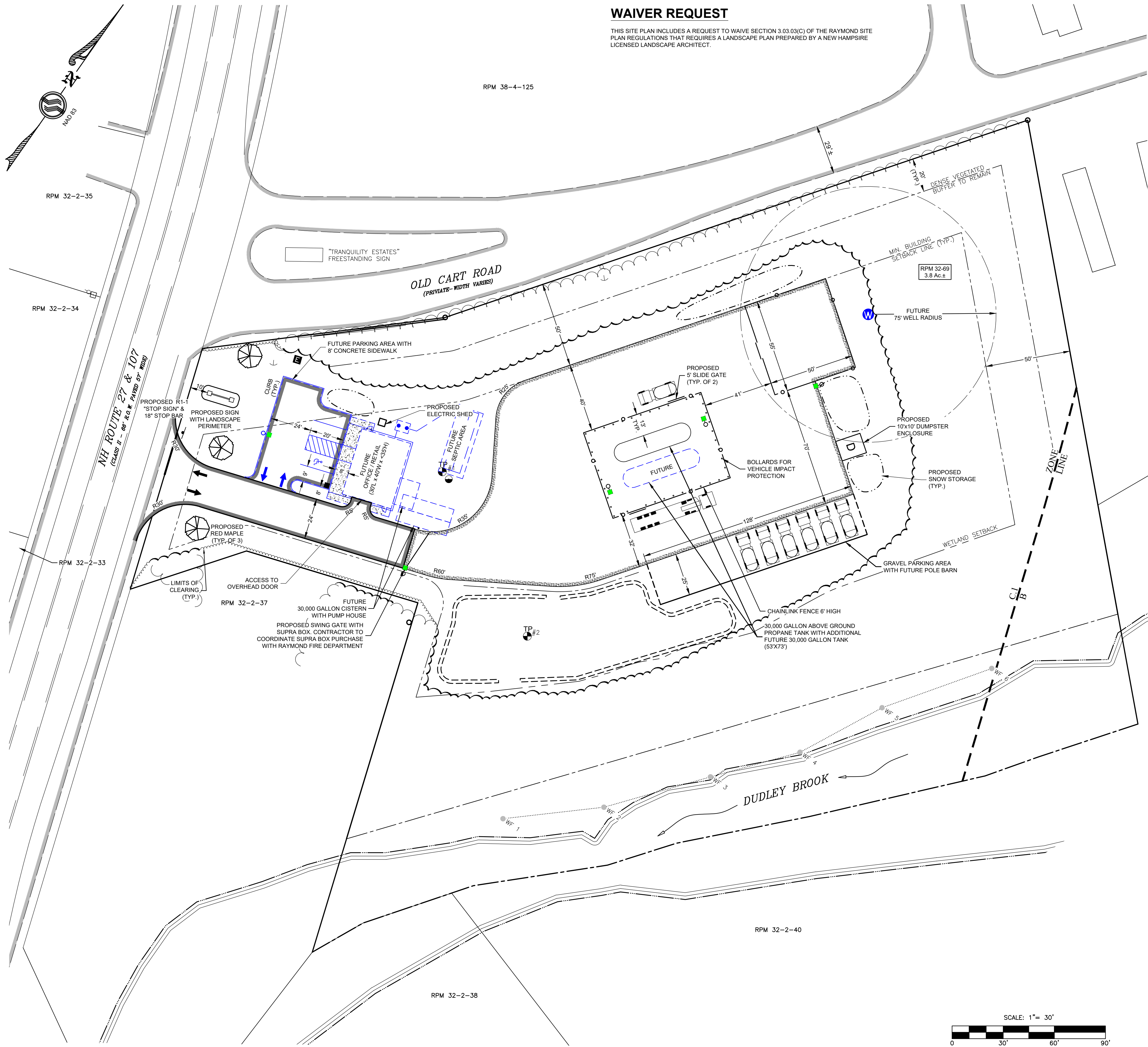
RPM 32-2-34

RPM 32-2-33

RPM 32-2-37

RPM 32-2-40

RPM 32-2-38



NOTES

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE DEVELOPMENT OF RAYMOND PROPERTY MAP 32 LOT 69 CONSISTING OF 3.8 ± AC.
 - OWNER OF RECORD: JESSICA HATCH. REFERENCE BOOK 6509 PAGE 874, ROCKINGHAM COUNTY REGISTRY OF DEEDS
 - THE PROPOSED DEVELOPMENT FEATURES INCLUDE:
 - 30,000 GALLON ABOVE GROUND LIQUID PROPANE TANK, WITH SPACE FOR A SECOND FUTURE TANK
 - TRUCK PARKING WITH CANOPY
 - GRAVEL MANEUVERING AREA FOR FUELING
 - MINIMAL AREA LIGHTING
 - FREE STANDING BUSINESS SIGN
 - STORMWATER FACILITY
 - FUTURE 30' X 40' COMMERCIAL BUILDING (RETAIL/SALES)
 - FUTURE CISTERN FOR BUILDING SPRINKLER
 - FUTURE WATER WELL
 - FUTURE SEPTIC SYSTEM
 - ZONING DISTRICT: COMMERCIAL C1
- A PROPERTY CORNER IS ALSO LOCATED WITHIN THE RESIDENTIAL/AGRICULTURAL (B) DISTRICT, HOWEVER NO DEVELOPMENT IS PROPOSED IN THAT AREA.

DIMENSIONAL REQUIREMENT	REQUIRED	PROVIDED (INCLUDES FUTURE)
MINIMUM LOT SIZE:	0.5 Ac	3.8 Ac
MINIMUM FRONTAGE:	50'	147'
FRONT SETBACK:	15'	100'
SIDE SETBACK:	15'	48'
REAR SETBACK:	15'	136'
WETLAND:	75'	99'±
RESIDENTIAL SETBACK:	50'	50'
IMPERVIOUS PERCENT:	15%	23.5%

- TOTAL LAND AREA TO BE DISTURBED WITH THIS PROJECT: 66,800 SF ± (INCLUDES FUTURE)
- TOTAL PAVEMENT/GRAVEL AREA AFTER DEVELOPMENT: 37,200 SF (INCLUDES FUTURE)
- PROPOSED FUTURE BUILDING WILL BE SERVED BY ON-SITE WELL AND SEWAGE DISPOSAL SYSTEM.
- PROPOSED FUTURE BUILDING WILL BE SERVED BY PROPANE.
- ALL DISTURBED AREAS SHALL BE DRESSED WITH 4" OF LOAM AND SEEDED UNLESS OTHERWISE NOTED.
- ALL WORK SHALL CONFORM TO TOWN OF RAYMOND STANDARDS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT THEY HAVE THE MOST RECENT SET OF PLANS. ALL WORK SHALL BE PERFORMED USING A COMPLETE SET OF PLANS AS SOME ITEMS ARE NOT SHOWN ON ALL SHEETS.
- THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF CONDITIONS ARE FOUND THAT DO NOT MATCH THESE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING APPROPRIATE EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION IN ACCORDANCE WITH NHDES AND US EPA BEST MANAGEMENT PRACTICES.
- SFC ENGINEERING PARTNERSHIP, INC. DOES NOT WARRANT THE LOCATION OR ELEVATION OF THE EXISTING UTILITIES OR THAT ALL ARE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIG SAFE (1-800-394-7233) AT LEAST 72 HOURS PRIOR TO CONSTRUCTION IN ACCORDANCE WITH STATE LAW.
- EXTERIOR LIGHTING TO BE SHIELDED AND DOWN TILTED. ANY LIGHTING OF THE FUTURE POLE BARN IS TO BE LOCATED UNDER THE ROOF OVERHANG.
- DUDLEY BROOK IS NOT SUBJECT TO STATE OF NH SHORELAND PROTECTION (RSA 483-B). DUDLEY BROOK IS SUBJECT TO RAYMOND ZONE G (CONSERVATION DISTRICT).
- THE PROPERTY IS LOCATED WITHIN THE RAYMOND GROUNDWATER CONSERVATION OVERLAY DISTRICT. A CONDITIONAL USE PERMIT IS REQUIRED IF STORAGE, HANDLING, AND USE OF REGULATED SUBSTANCES IN QUANTITIES EXCEEDING 100 GALLONS OR 800 POUND DRY WEIGHT IS PROPOSED. CONDITIONAL USE PERMIT ALSO REQUIRED IF GREATER THAN 15% OF THE LOT IS IMPERVIOUS COVER.
- DESIGN OF FUELING TANKS AND APPURTENANCES BY OTHERS.
- AN ALTERATION OF TERRAIN PERMIT FROM NHDES IS NOT REQUIRED BECAUSE THE PROJECT IMPACTS LESS THAN 100,000 SF.
- NO GROUNDWATER DISCHARGE PERMIT OR REGISTRATION IS REQUIRED BY NHDES RULE ENV-WQ 402 FOR THE PROPOSED USE.
- PROPOSED DRIVEWAY STOP BAR SHALL BE 18" WHITE THERMOPLASTIC PAINT.
- THE LIMITS OF CLEARING LINE AND PROPOSED TREELINE DENOTE THE LIMITS OF CLEARING FOR THE PROJECT.
- THE PROPOSED DEVELOPMENT RECEIVED NHDOT DRIVEWAY PERMIT 05-383-0025 DATED JANUARY 2, 2024.

PARKING CALCULATIONS FOR FUTURE BUILDING

PER RAYMOND SITE PLAN REVIEW REGULATIONS ARTICLE 6.06(1)

OFFICE - LOW VOLUME:	3 SPACES/ 1,000 SF	4 SPACES
1,200 SF		
TOTAL PARKING REQUIRED:		4 SPACES
TOTAL PARKING PROVIDED:		4 SPACES
TOTAL ACCESSIBLE SPACES PROVIDED:		1 SPACES

SEWAGE LOADING FOR FUTURE BUILDING

ENV-WQ 1000 TABLE 1008-1 UNIT DESIGN FLOW UNSPECIFIED OFFICE SPACE REQUIRES 5 GPD PER 100 SF, OR 60 GPD PER EMPLOYEE, OR A MINIMUM DESIGN FLOW OF 300 GPD (ENV-WQ 1008.02) DESIGN FLOW = 300 GPD

FROM TEST PIT PERC RATE IS 2 MIN PER INCH PER ENV-WQ 1000, TABLE 1016-1, 125 SF PER 100 GPD REQUIRED PROVIDED: 600 SF (15' x 40')

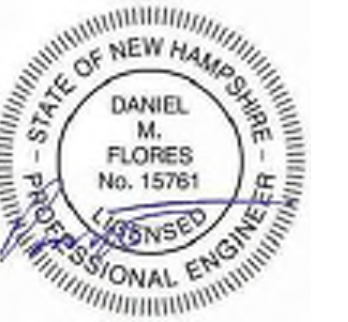
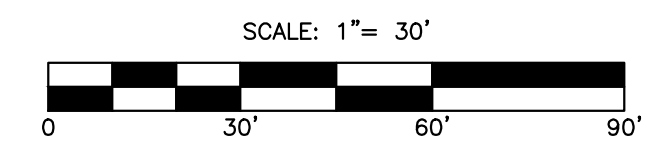
LOT LOADING: THE PROPERTY HAS CAPACITY FOR OVER 3,500 GPD WITH THE 75' WELL RADIUS REMOVED.



- NOTES:
- PROPOSED SIGN IS TO MEET RAYMOND ZONING ORDINANCE WHICH ALLOWS UP TO 75 SF OF SIGN AREA FOR THE GIVEN LOT FRONTAGE.
 - BASE OF SIGN TO INCLUDE BARK MULCH AND LANDSCAPING. LANDSCAPING TO INCLUDE FLOWERING PLANTS.
 - IMAGE IS MEANT TO CONVEY EXAMPLE OF PROPOSED SIGN. ACTUAL SIGN MAY VARY.
 - A SIGN PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED.

PROPOSED SIGN DETAIL

NOT TO SCALE



REVISIONS

NO.	DESCRIPTION	DATE
1	ADDRESS NHDOT COMMENTS	12/7/2023
2	ADDRESS PLANNING COMMENTS	1/5/2024



Location Plan
Prepared from Bing Maps

Project:
Fuel NRG Raymond
 Route 27
 Raymond, NH
 Rockingham County
 Tax Map 32, Lot 69

C1 COMMERCIAL ZONING DISTRICT

Prepared For:
 Fuel NRG
 119 Rockingham Road
 Windham, NH 03087

Designed By: TDD Date: 11/8/2023
 Drawn By: TDD Scale: 1" = 30'
 Checked By: DMF Project No: 666760

Sheet Title:
Site Development Plan

C2

Drawing: 666760 ESC & Construction Details, Layout, Profiles & Sections - C7

BERM CONSTRUCTION CRITERIA

1. FOUNDATION PREPARATION:
THE FOUNDATION AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOD, AND RUBBISH. TO ESTABLISH VEGETATION, THE TOPSOIL AND SOD SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED BERM AND SPILLWAYS. FOUNDATION SURFACES SHALL BE SLOPED NO STEEPER THAN 1:1. THE FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED IF NECESSARY SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS. FOUNDATION AREAS SHALL BE KEPT FREE OF STANDING WATER WHEN FILL IS BEING PLACED ON THEM.

2. FILL PLACEMENT:
THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF SOD, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATERIAL.

THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF 8" MAXIMUM COURSES AND COMPACT TO 95% MODIFIED PROCTOR (ASTM D1557). THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE OPENINGS OR SECTIONALIZED FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL.

THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OR GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MORE IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.

3. MOISTURE CONTROL:
THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING 95% COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.

4. COMPACTION:
CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE 95% COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION. EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY.

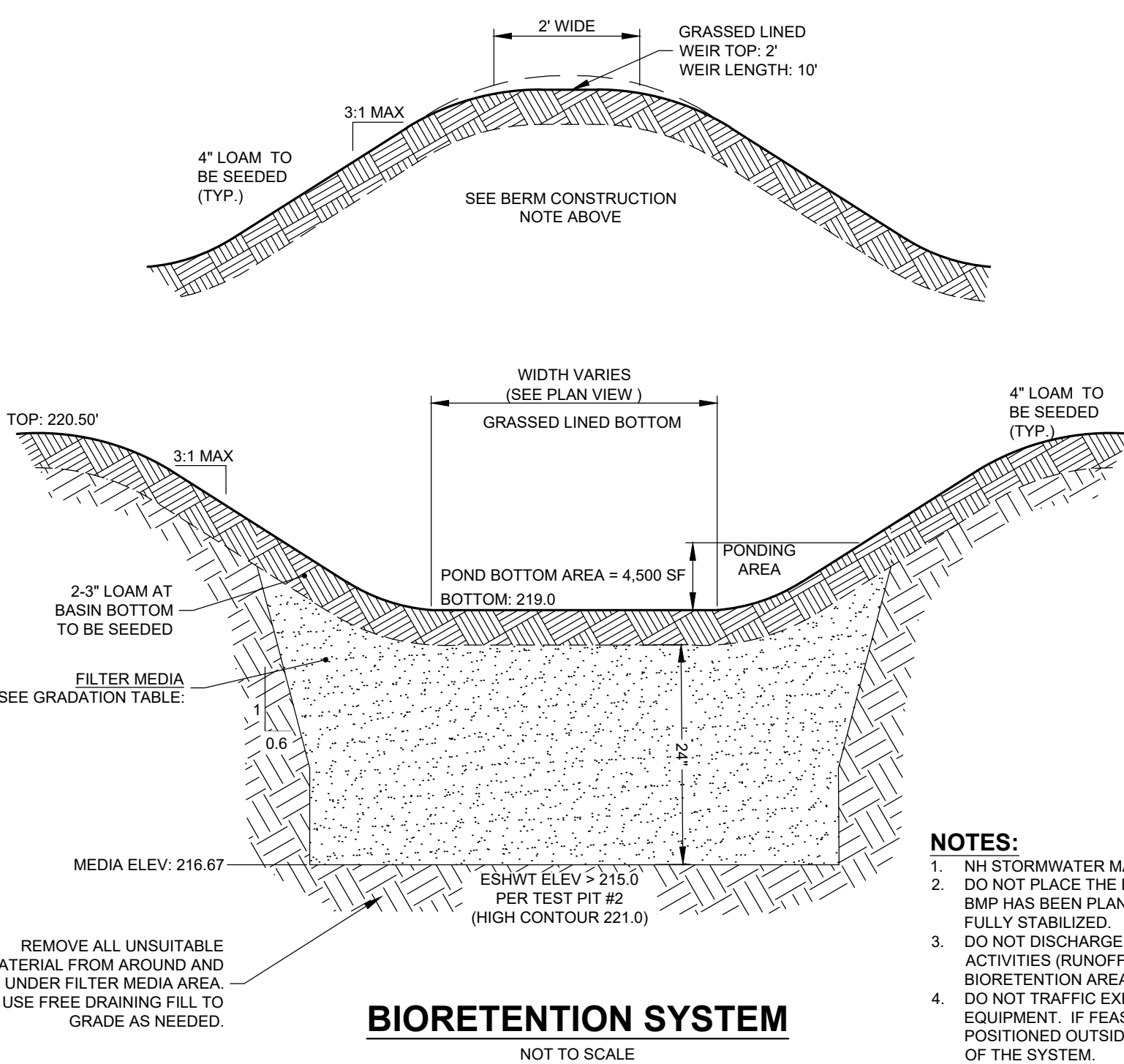
5. PROTECTION:
A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS, SUCH AS MULCHES OR GRAVEL, MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OF PERMANENT VEGETATION.

MAINTENANCE REQUIREMENTS:

- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

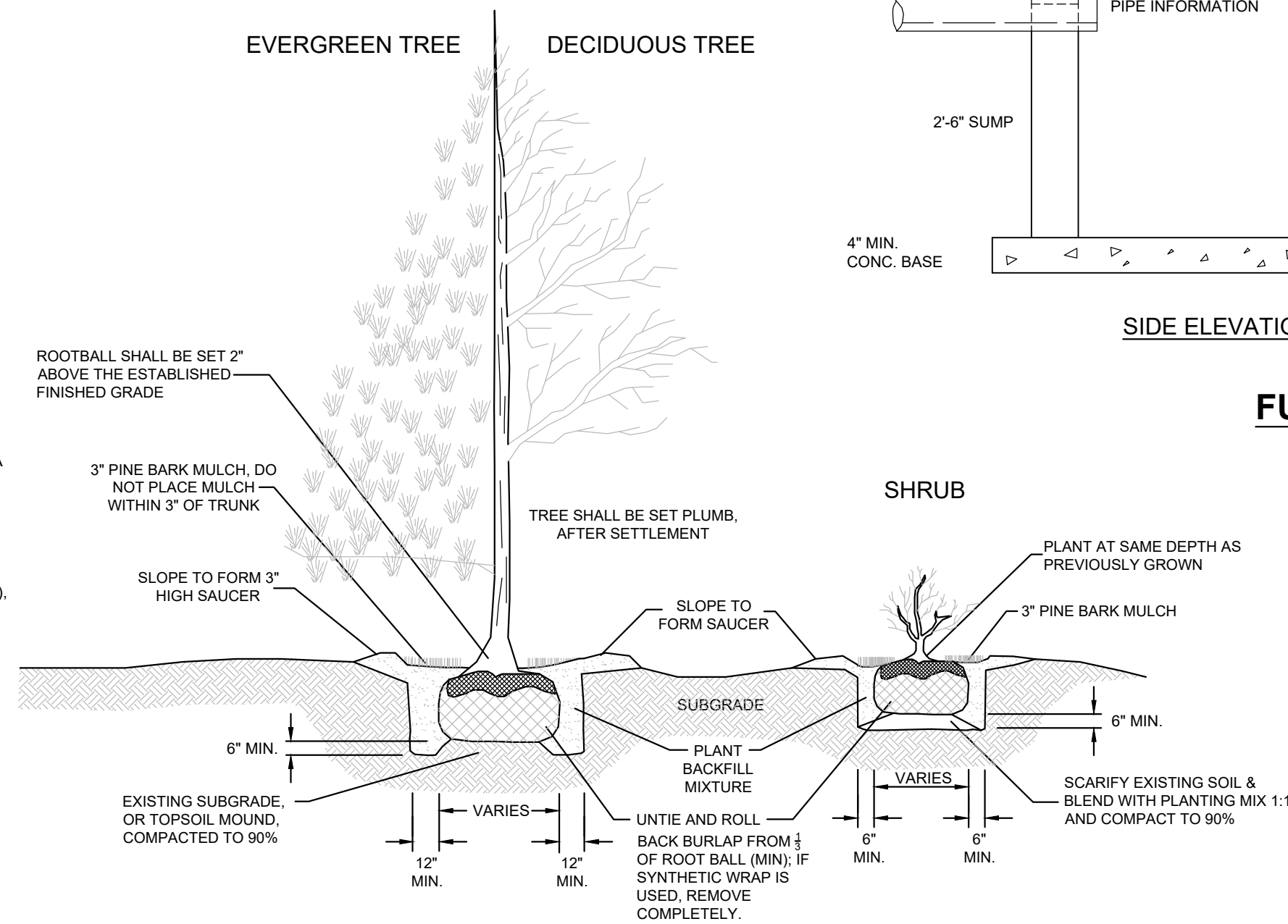
BIORETENTION MEDIA GRADATION TABLE

COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	SIEVE NO.	GRADATION OF MATERIAL PERCENT BY WEIGHT PASSING STANDARD SIEVE
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH	20 TO 30	200	<5
LOAMY COARSE SAND	70 TO 80	10	85 TO 100
		20	70 TO 100
		60	15 TO 40
		200	8 TO 15



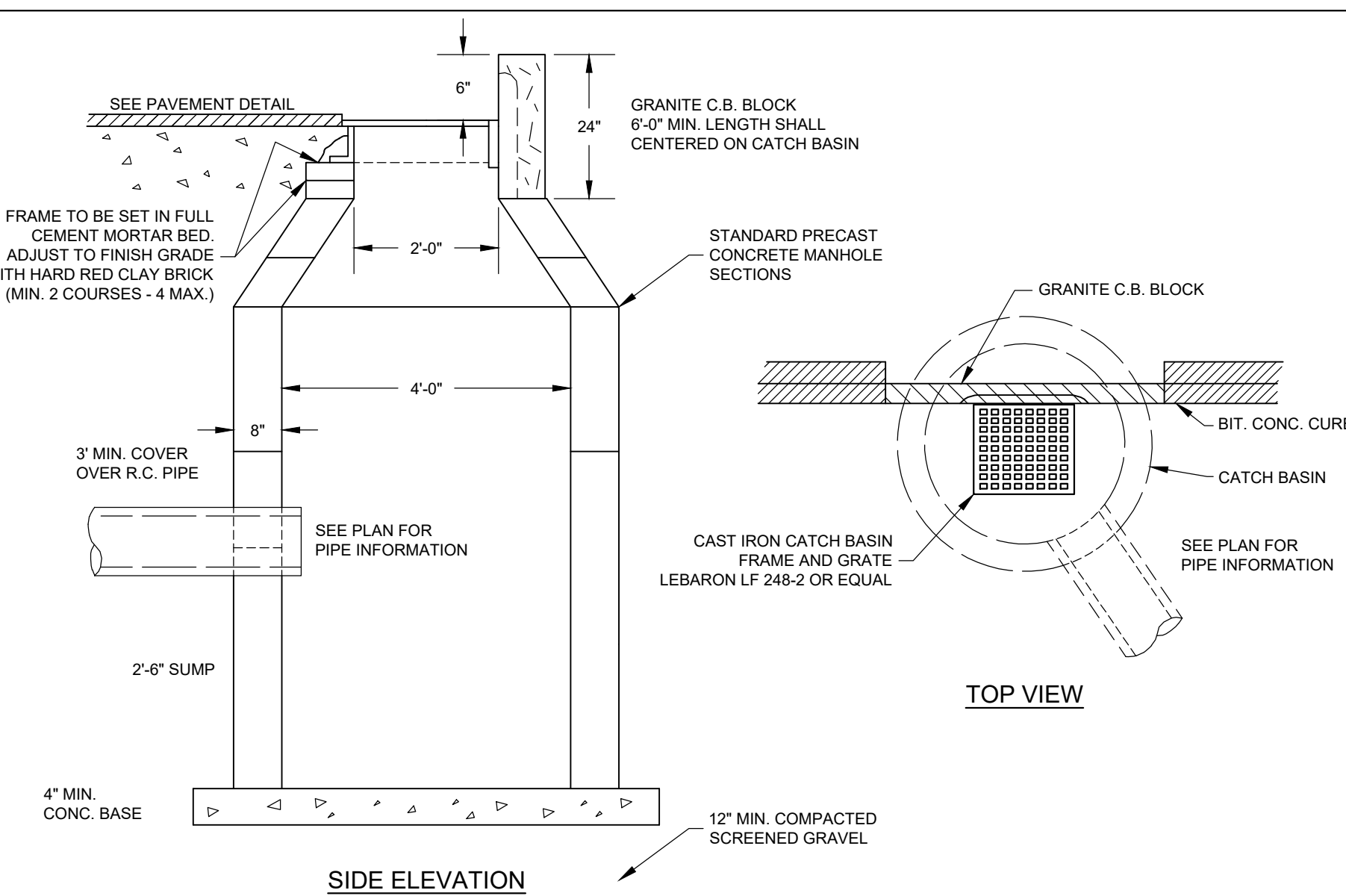
BERM MAINTENANCE

- BERM - THE BERM SHALL BE INSPECTED ANNUALLY TO DETERMINE IF RODENT BURROWS, WET AREAS, OR EROSION OF THE FILL IS TAKING PLACE.
- VEGETATION - THE VEGETATED AREAS OF THE STRUCTURE SHALL BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. LIME AND FERTILIZER SHALL BE APPLIED AS NECESSARY AS DETERMINED BY SOIL TESTS. TREES AND SHRUBS SHALL BE KEPT OFF THE EMBANKMENT AREAS.
- INLETS - INLETS SHALL BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. ACCUMULATED DEBRIS AND SEDIMENT SHALL BE REMOVED.
- OUTLETS - OUTLETS SHALL BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE OUTLET SHALL BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE THEN MEASURES SHALL BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.
- SEDIMENT - SEDIMENT SHALL BE CONTINUALLY CHECKED IN THE BASIN. ANY SEDIMENT THAT ACCUMULATES IN FRONT OF THE INLET SHALL BE REMOVED AND PROPERLY DISPOSED OF.



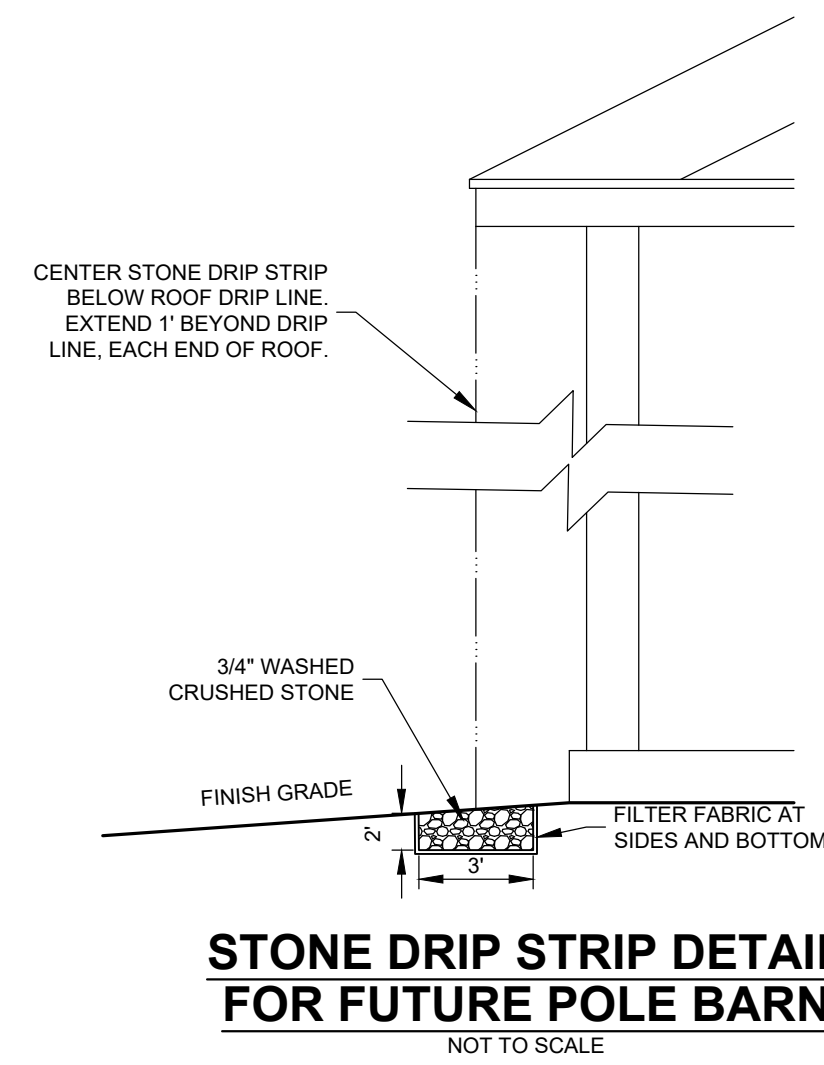
PLANTING DETAILS - TREES AND SHRUBS

NOT TO SCALE



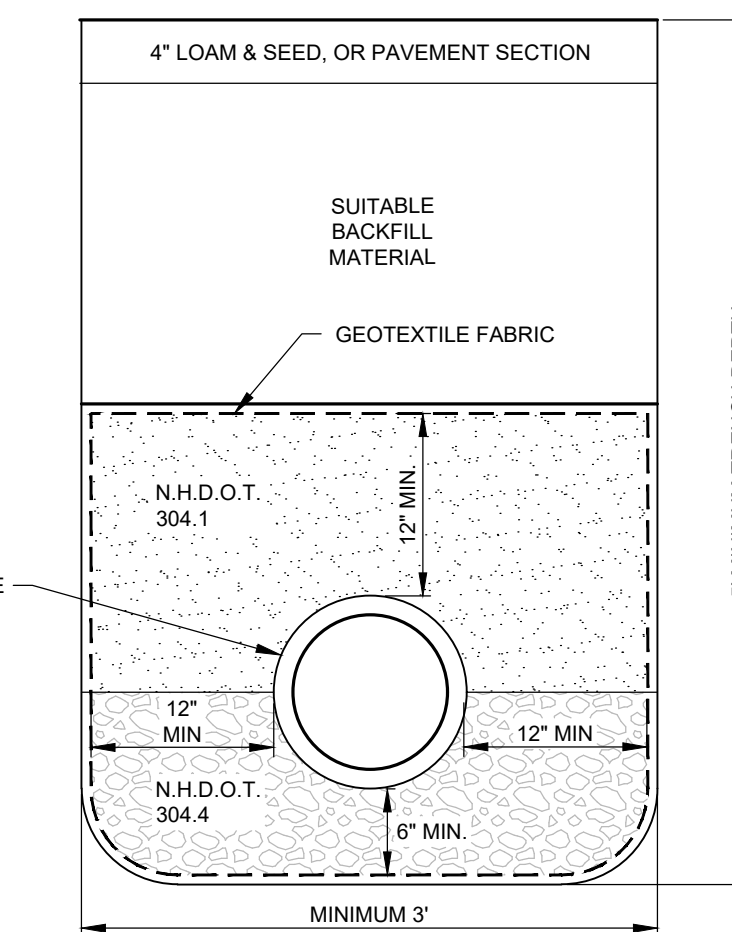
FUTURE CATCH BASIN DETAIL

NOT TO SCALE



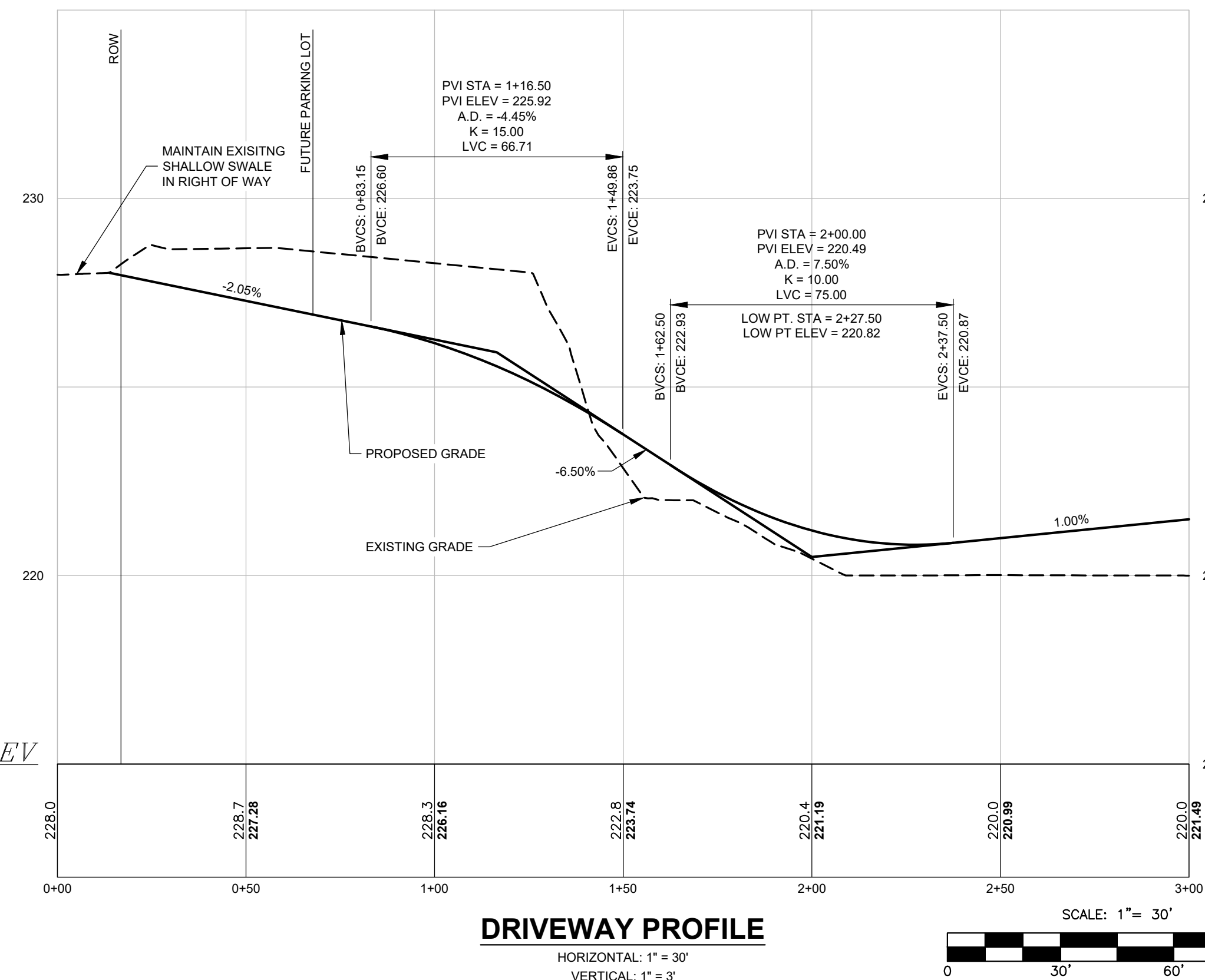
STONE DRIP STRIP DETAIL FOR FUTURE POLE BARN

NOT TO SCALE



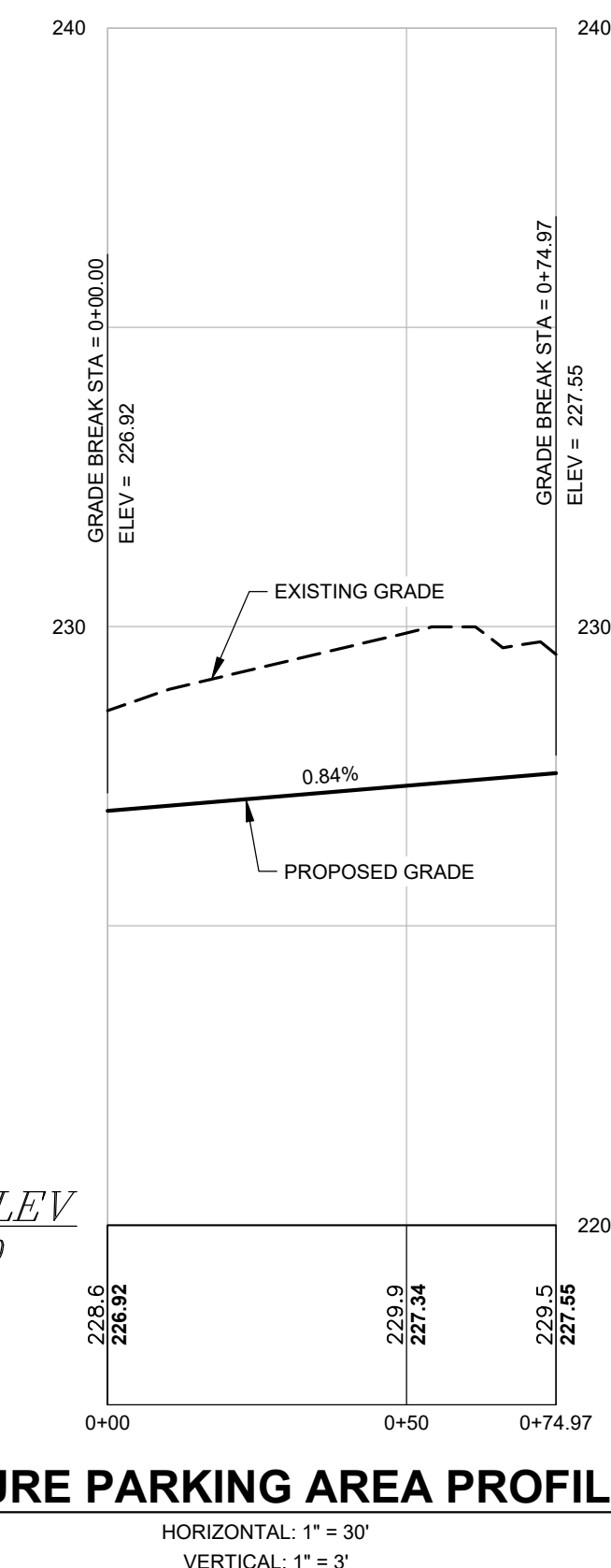
DRAIN TRENCH WITH LESS THAN FOUR FEET COVER

NOT TO SCALE



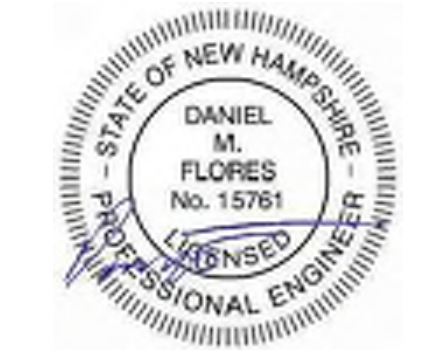
DRIVEWAY PROFILE

HORIZONTAL: 1" = 30'
VERTICAL: 1" = 3'



FUTURE PARKING AREA PROFILE

HORIZONTAL: 1" = 30'
VERTICAL: 1" = 3'



REVISIONS

NO.	DESCRIPTION	DATE
1	ADDRESS NHDOT COMMENTS	12/7/2023
2	ADDRESS PLANNING COMMENTS	1/5/2024



Location Plan
Prepared from Bing Maps

Project:
Fuel NRG Raymond
Route 27
Raymond, NH
Rockingham County
Tax Map 32, Lot 69

C1 COMMERCIAL ZONING DISTRICT

Prepared For:
Fuel NRG
119 Rockingham Road
Windham, NH 03087

Designed By: TDD Date: 11/8/2023
Drawn By: TDD Scale: As Noted
Checked By: DMF Project No: 666760

Sheet Title:
Construction Details

C7

Drawing name: K:\666760 Fuel NRG - Map 32 Lot 69 Rte 27 Raymond NH\AutoCAD\Finals\666760 ESC & Construction Details.dwg



N10800X
December 13, 2023

Mr. Jason Cleghorn, Director
Community Development Department
Town of Raymond
4 Epping Street
Raymond, NH 03077

SUBJECT: Fuel NRG - Map 32 Lot 69
Engineering Review Services

Dear Mr. Cleghorn:

As requested, we hereby submit our proposal for a review of the proposed site plan application for the above referenced project. Our review will be based on the plans and materials submitted which consist of Site Plans (dated November 8, 2023), a Drainage Analysis (dated December 5, 2023), and a traffic memo (no date) from SFC Engineering.

SCOPE OF WORK

The following items are included in the Scope of Work:

- Task 1** Detailed review of soils information with emphasis on drainage and grading limitations.
- Task 2** Detailed review of stormwater drainage and its impact upon adjacent properties.
- Task 3** Detailed review of access and parking design.
- Task 4** Detailed review of traffic memo.
- Task 5** Prepare and submit a letter report addressing tasks 1 through 4.

Mr. Jason Cleghorn
December 13, 2023
Page Two

DuBois & King, Inc. will perform the above Scope of Work in accordance with our Master Contract. We suggest a budget range of \$4500 to \$5000. Actual costs will depend on the thoroughness of the original submittal, extent of coordination required, and whether subsequent submittals and reviews are necessary.

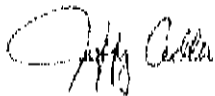
If you find this proposal to be acceptable, please execute both copies of this proposal, and return one to our office. We will complete the review and submit the report within 21 days following receipt of a signed copy of the Agreement.

Upon receipt of the executed Agreement we will initiate work.

We look forward to serving the Town of Raymond on this project.

Very truly yours,

DuBOIS & KING, INC.

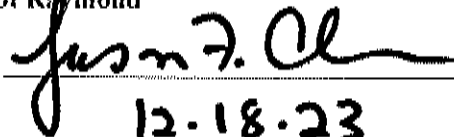


Jeffrey A. Adler, P.E.
Senior Project Manager

JAA/js

ACCEPTED AND AUTHORIZED TO PROCEED:
Town of Raymond

BY:



DATE:

12.18.23

The Town of Raymond, NH- Planning Board

Site Plan Application #2023-016 Fuel NRG Raymond Findings of Fact for Application Denial 01/11/2024

A. Introduction

Pursuant to NH RSA 676:3 and in compliance with the requirements of the State of New Hampshire and the Town of Raymond Site Plan Regulations, as amended, the following is presented as Findings of Fact and written decision of denial of Application #2023-016 (the “Application”) an Application for Site Plan for a site located in Ramond Tax Map #32, Lot 69, within Zone C1, on NH Route 27, Raymond, NH 03077 and submitted by Daniel M. Flores of SFC Engineering Partnership, Inc. on behalf of Jessica Hatch of Fuel NRG, landowner.

B. Authority

Raymond Site Plan Regulations ARTICLE I – PURPOSE AND AUTHORITY 1.01 AUTHORITY

Pursuant to the authority vested in the Town of Raymond Planning Board by the voters of the Town on March 12, 1983, and in accordance with New Hampshire Revised Statutes Annotated (NH RSA) 674:44, the Planning Board does hereby adopt the following Regulations for the governing of the review of non-residential site plans, the development of multi-family dwelling units and changes of use. These Regulations shall be entitled the “Site Plan Review Regulations for the Town of Raymond.

Raymond Zoning Regulation 2023; ARTICLE 1: PREAMBLE

1.1. Purpose: The purpose of this Zoning Ordinance is to promote the health, safety, economic and social well-being of the community, to protect the natural resources including the lakes, rivers, streams, drinking water and aquifer, to lessen congestion in the streets, to secure safety from fires, panic, and other dangers, to promote adequate light and air, to prevent overcrowding of land, to avoid undue concentration of population, and to facilitate the adequate provision of transportation, water, sewerage and schools. The Town of Raymond, New Hampshire adopted this Ordinance in conformance with New Hampshire RSA674:16.

C. Findings of Fact and Regulations

1. In March of 2023 Zoning Ordinance 5.2.10 was amended by a majority vote of the citizens of Raymond. Article 6 was approved with 1030 in favor and 264 opposed, roughly 80% vs 20% (Exhibit A)

2. A provision recommended by the Southern New Hampshire Regional Planning Commission in the Town of Raymond 2009 Sourcewater Protection Plan (Exhibit B) and the basis for the amendment adopted by vote that subsequently reads Under **5.2.10 PROHIBITED USES:**

“5.2.10.7 The siting or operation of a petroleum bulk plant or terminal (03/23).” (Exhibit C)

3. The applicant engaged in review with town staff beginning in August 2023 as well as representatives including DuBois & King Inc. (Exhibit D)
4. An application for site plan review was submitted on December 6, 2023, with a request to be put on the agenda for the next planning Board hearing (Exhibit E)
5. Member McLeod made a good faith effort on 01/10/2024 to inform the Applicant through Community Development Director Jason Cleghorn that he believed an oversight had occurred in the zoning determination and that the Applicant should be informed. (Exhibit F)
6. A hearing on Application #2023-016 convened on January 11, 2024, where the Application was deemed complete enough for the Planning Board to accept jurisdiction. Per RSA 676:3, II, draft minutes of the 01/11/2024 meeting are attached as part of this document. The Applicant was afforded an opportunity to present a summary of the project to the board which closely matched the Project Narrative submitted.
7. Abutter comments start at timestamp (TS) 00:56:28 and ending at TS 01:08:55 can be viewed in their entirety on Raymond Community Television RCTV at this URL:

<https://imd0mxanj2.execute-api.us-west-2.amazonaws.com/ssr/watch/65a0b8ece1bb2300086b5a85>

Abutter concerns included: acknowledging Propane is a safe product when managed properly; topography of Site; hazardous traffic conditions; nuisance smell of gas; nuisance lighting; and safety of residential homes in proximity to the bulk fuel tanks.

8. Chairwoman Luszcz advised a member of the public that the project documents are available on the Town of Raymond website in the Supporting Documents section.
9. Prior to a discussion about regional impact, Member McLeod raised concerns regarding the zoning determination in the Applicants submitted Project Narrative of a “Commercial Service Establishment” as defined in Zoning Regulation:

“13.1.18. COMMERCIAL SERVICE ESTABLISHMENT: (03/1990) A building and/or other structure used principally for providing commercial services to the public, such as a beauty shop, shoe repair shop, dry cleaner, laundry, electrician, plumber, repair service, installation service, general contractor, rental shop and the like. No accessory use for residential purposes shall be permitted.”

10. An approved driveway permit application was submitted to the Planning Department with the road name of “Fuel Depot Drive”. (Exhibit G).
11. Member McLeod expressed his belief that due to the classification of the LP storage tanks as bulk fuel tanks and further that Liquid Petroleum Gas is synonymous with Liquid Propane, and that the fuel is

delivered, stored, and distributed in liquid form, excepting the vapor that fills the interstitial space in the tank, that the project was defined in Town of Raymond Zoning Ordinance as:

5.2.4.11. PETROLEUM BULK PLANT or TERMINAL: Means that portion of the property where petroleum products are received by tank vessel, pipeline, tank car, or tank vehicle and are stored or blended in bulk for the purpose of distributing such liquids by tank vessel, pipeline tank car, tank vehicle, portable tank, or container.

12. Mr. McLeod further qualified that the project is within the Groundwater Conservation Overlay District and that the use is prohibited per Town of Raymond Zoning:

5.2.10. PROHIBITED USES: The following uses are prohibited in the Groundwater Conservation District:

5.2.10.7. The siting or operation of a petroleum bulk plant or terminal (03/23)

13. From TS 01:14:06 to 01:14:38 Mr. Flores of SFC Engineering stated that the project was reviewed by staff back in August and given a “green light” as well as referencing a “whole writeup” from Maddie Dilonno, circuit rider planner for the Rockingham Planning Commission in which “...she agreed that petroleum, um, or Propane does not meet the Petroleum definition.”
14. Chairwoman Luszcz advised the Applicant that the ultimate responsibility to adhere to the regulations rests with the Applicant. She further instructed that staff do not make determinations that are the purview of the Planning Board, however, staff may assist the applicants as well as advise the board.
15. Mr. Flores noted that he felt that propane being specifically excluded from the definition of regulated substances bolstered his argument. Regulated substances are defined in the Town of Raymond Zoning Ordinance as:

5.2.4.13. REGULATED SUBSTANCE: Petroleum, petroleum products, and substances listed under **40 CFR 302**, 7-1-05 edition, excluding the following substances: (1) ammonia, (2) sodium hypochlorite, (3) sodium hydroxide, (4) acetic acid, (5) sulfuric acid, (6) potassium hydroxide, (7) potassium permanganate, and (8) propane and other liquefied fuels which exist as gases at normal atmospheric temperature and pressure.
16. The classification in **5.2.4.13** is for the purpose of defining those substances that are excluded from regulation under the specific definition “regulated substances”. Mr. McLeod noted that he never mentioned “regulated substances” and is only referring to it as a petroleum product in liquid form as it relates to the definition of a Petroleum Bulk Plant or Terminal and further states that propane and liquefied petroleum are petroleum products.
17. Shawn Thrasher from Crown Energy Solutions, Auburn, NH states TS 01:18:04: “Propane is not considered a petroleum.” He goes on to say at TS 1:20:34: “By definition, if you were to look up “petroleum” it’s not, it’s not listed under, under any EPA or government standards as a petroleum product. (referring to Liquid Propane)”. Mr. McLeod counters that it’s “common knowledge” that propane is a petroleum product and Mr. Thrasher retorts, “I guess “common” and “mine” are different.”.

18. TS 01:24:36: "If I could just make a comment, Jessica Hatch, of the Fuel NRG in Windham, NH, I don't think anyone is negating what the regulations say and the intent of them, what we're trying to make a point of is "petroleum" as a specific word does not include "propane".
19. TS 01:28:40 Andrew Wickson, Fuel NRG, states "They (NH DES) do not classify propane as a petroleum product." No reference was given to support this claim.
20. Mr. McLeod refuted all arguments against propane not being a petroleum product and once again stated that it is "common knowledge". Mr. McLeod stated he thinks it is a generally accepted definition that propane is a petroleum product. A motion was made to deny the application due to the use being prohibited in the Groundwater Conservation Overlay District.
21. The Board relies upon and incorporates into its findings of facts and its decision all other public meeting recordings and minutes, as well as all submissions made by the Applicant to the Planning Department.

D. Discussion

The Applicant contemplates in their testimony at a Public Hearing on 01/11/2024 and in their Project Summary that the use is a commercial service establishment and not a bulk petroleum plant or terminal. The Board determined that propane is a petroleum product, as it is "liquified petroleum gas."

It was also noted that while liquified propane/liquified petroleum, as a substance, is not regulated as an environmental concern for infiltration into groundwater, it is the type of facility that is prohibited. Examples of concerns ranged from blast radius of the proposed bulk fuel tanks and the contamination inherent in fighting fires with large quantities of water and secondary fires with PFAS containing aqueous firefighting foams (AFFF). Once an impasse on the subject of propane being a petroleum product was reached, a motion to deny the application was made based on the boards determination that the project is in fact a Bulk Petroleum Plant or Terminal which is a prohibited use in the Groundwater Conservation Overlay District.

E. Determination

The Raymond Planning Board expressed several concerns over the determination of the project as a "Commercial Service Establishment" which lists businesses like shoe repair, laundromat, and rental shop as opposed to the definition of a "Bulk Petroleum Plant or Terminal which the defines the project explicitly. The 30,000-gallon (111,000 lbs.) bulk LP fuel tank and associated storage and distribution infrastructure are an almost word for word description of the project. The owner Jessica Hatch said that they did not negate the regulation but felt that they did not need to adhere as "propane is not a petroleum product."

The majority of the Planning Board determined that, despite arguments to the contrary, propane is a liquified petroleum gas and as such falls under the definition of a "Bulk Petroleum Plant or Terminal" and is not permitted in the Groundwater Conservation Overlay District (GCOD). Therefore, the Planning Board was obligated to deny the application as there was little support for the unsubstantiated arguments and easily

disproven statements made by the Applicant and their representatives that propane is not a Liquefied Petroleum product.

F. Record of Vote

Tricia Bridgeo made a Motion to Deny Application #2023-016, without prejudice, as prohibited use 5.2.10.7 and definition 5.2.4.11. Seconded by Jim McLeod.

A discussion ensued where all the members had an opportunity to speak. Member Gott was not prepared to deny due to being unsure about the classification of propane as a petroleum product. Bob McDonald commented that the propane is stored in bulk liquid form and is therefore a bulk petroleum plant or terminal. Jim McLeod noted he was sorry the application got so far without this being addressed.

Roll Call of Vote:

- Tricia Bridgeo - Aye - The use is prohibited in GCOD**
- Jim McLeod - Aye - The use is prohibited in GCOD**
- Grethen Gott – No - due to lack of clarity of propane as petroleum.**
- Tom Daigle – Aye - The use is prohibited in GCOD**
- Bob McDonald – Yes – The use is prohibited in GCOD**
- Dee Luszcz - Yes - The use is prohibited in GCOD**

The vote to deny passes with 5 in favor, 1 opposed, and 0 abstentions.

G. Appeals

Appeals are subject to conformance with State and Local regulations. Any party to this proceeding or any person aggrieved by this decision has the right to request a rehearing pursuant to RSA chapter 677. Such a request shall be submitted to the Board within thirty (30) days of this decision.



Planning Board Minutes
January 11, 2024 @ 7:00 PM
Media Center Raymond High School
45 Harriman Hill Road, Raymond, NH 03077

1 **Pledge of Allegiance:** Recited by all in attendance.

2

3 **Meeting called to order:**

4 The meeting started at approximately 7:00 pm.

5

6 **Roll Call:**

7 Bob McDonald, Planning Board; Tom Daigle, Planning Board; Dee Luszcz,
8 Planning Board Chair; Jim McLeod, Vice-Chair; Trisha Bridgeo, Board of
9 Selectmen; Gretchen Gott, Planning Board.

10

11

12 **Public Meeting:**

13

14 **2024 Zoning Ordinance Amendments**

15

16 The full list and description of the 2024 Zoning Ordinance Amendments for the
17 Warrant Articles to be voted on in the March 2024 election will be attached at the
18 end of these meeting minutes.

19

20 *Zoning Amendment No. 1 - Article 5: Overlay Districts; Subsections 5.2.4.8.,*
21 *5.2.4.10, 5.2.4.15. and 5.2.6.2.5. Conditional Uses*

22

23 Mr. McLeod explained that there are two different types of impervious surfaces: one
24 that is an impenetrable surface to hold chemical spills, the other is the impervious
25 surface used for stormwater calculations. This update is a request by the
26 Conservation Committee for clarification. There were no comments from the public.

27

28 **Motion:**

29

30 **Mr. McLeod made a motion to move zoning amendment number 1 to**
31 **the ballot as written; Mr. McDonald seconded the motion.**

32

33 **A roll call vote was taken,**

34 **Ms. Gott – Yes**

35 **Ms. Bridgeo – Yes**

36 **Mr. McLeod – Aye**

37 **Mr. Daigle – Yes**

38 **Mr. McDonald – Yes**

39 **Ms. Luszcz – Aye**

40

41 **The motion passed with a unanimous vote of 6 in favor, 0 opposed, and 0**
42 **abstention.**



Planning Board Minutes
January 11, 2024 @ 7:00 PM
Media Center Raymond High School
45 Harriman Hill Road, Raymond, NH 03077

43
44
45
46
47
48
49
50
51
52
53
54
55
56
57
58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75
76
77
78
79
80
81
82
83
84

Zoning Amendment No. 2 - Article 5: Overlay Districts; 5.2.4. DEFINITIONS; Add Subsection 5.2.4.21. Wetland Buffer

Mr. McLeod explained that there was no existing definition in the zoning ordinance, so now they are adding one on the recommendation of the Conservation Committee. There were no comments from the public.

Motion:

Mr. McLeod made a motion to move zoning amendment number 2 to the ballot as written; Mr. McDonald seconded the motion.

**A roll call vote was taken,
Mr. McDonald – Yes
Mr. Daigle – Yes
Ms. Gott – Yes
Ms. Bridgeo – Yes
Mr. McLeod – Aye
Ms. Luszcz – Aye**

The motion passed with a unanimous vote of 6 in favor, 0 opposed, and 0 abstention.

Zoning Amendment No. 3 - Article 4: ZONES; Section 4.9.3. DISTRICT BOUNDARIES, Subsection 4.9.3.1. Shoreland Protection Area

Mr. McLeod explained that the only change was the intermittent and perennial stream. There were no comments from the public.

Motion:

Mr. McLeod made a motion to move zoning amendment number 3 to the ballot as written; Mr. McDonald seconded the motion.

**A roll call vote was taken,
Ms. Gott – Yes
Ms. Bridgeo – Yes
Mr. McLeod – Aye
Mr. Daigle – Yes
Mr. McDonald – Yes
Ms. Luszcz – Aye**



Planning Board Minutes
January 11, 2024 @ 7:00 PM
Media Center Raymond High School
45 Harriman Hill Road, Raymond, NH 03077

85
86
87
88
89
90
91
92
93
94
95
96
97
98
99
100
101
102
103
104
105
106
107
108
109
110
111
112
113
114
115
116
117
118
119
120
121
122
123
124
125
126

The motion passed with a unanimous vote of 6 in favor, 0 opposed, and 0 abstention.

Zoning Amendment No. 4 - Article 4: ZONES; Section 4.9.3. DISTRICT BOUNDARIES, Add Subsection 4.9.3.5. Wetland Setback Area

Mr. McLeod explained that the change is to ensure that “wetland buffer” and “wetland setback” are synonymous. There were no comments from the public.

Motion:

Mr. McLeod made a motion to move zoning amendment number 4 to the ballot as written; Mr. McDonald seconded the motion.

**A roll call vote was taken,
Mr. McDonald – Yes
Mr. Daigle – Yes
Ms. Gott – Yes
Ms. Bridgeo – Yes
Mr. Mcleod – Aye
Ms. Luszcz – Aye**

The motion passed with a unanimous vote of 6 in favor, 0 opposed, and 0 abstention.

Zoning Amendment No. 5 - Article 15: AREA AND DIMENSIONAL REQUIREMENTS & ASSOCIATED NOTES; Section 15.1 Area and Dimensional Table

Mr. McLeod explained that Zone G has special requirements, but it did not fit in the chart. There were no comments from the public.

Motion:

Mr. McLeod made a motion to move zoning amendment number 5 to the ballot as written; Mr. McDonald seconded the motion.

**A roll call vote was taken,
Ms. Bridgeo – Aye
Mr. Mcleod – Aye
Mr. McDonald – Aye**



Planning Board Minutes
January 11, 2024 @ 7:00 PM
Media Center Raymond High School
45 Harriman Hill Road, Raymond, NH 03077

127
128
129
130
131
132
133
134
135
136
137
138
139
140
141
142
143
144
145
146
147
148
149
150
151
152
153
154
155
156
157
158
159
160
161
162
163
164
165
166
167
168

Mr. Daigle – Yes
Ms. Gott – Yes
Ms. Luszcz – Aye

The motion passed with a unanimous vote of 6 in favor, 0 opposed, and 0 abstention.

Zoning Amendment No. 6 - Article 4: ZONES; Section 4.9.3. DISTRICT BOUNDARIES: Subsection 4.9.3.3, Subsection 4.9.3.4 and Subsection 4.9.4.2. Rockingham County Soil Survey Map

Mr. McLeod explained that this will ensure that if there are any updates to the document before the Town can vote on another zoning ordinance update, the ordinance will still be correct without a specific version year being referenced. There were no comments from the public.

Motion:

Mr. McLeod made a motion to move zoning amendment number 6 to the ballot as written; Mr. McDonald seconded the motion.

A roll call vote was taken,
Mr. Daigle – Yes
Mr. McDonald – Yes
Ms. Gott – Yes
Ms. Bridgeo – Yes
Mr. McLeod – Aye
Ms. Luszcz – Aye

The motion passed with a unanimous vote of 6 in favor, 0 opposed, and 0 abstention.

Zoning Amendment No. 7 - Article 5: Overlay Districts; Section 5.4. Mixed Use Business Campus Overlay District (03/2007); and Article 14: Allowed Uses Table; Section 14.1 Allowed Uses Table and Subsection 14.2.6. Notes to Allowed Uses Table

Mr. McLeod explained that this was previously removed so this is cleaning up the ordinance. There were no comments from the public.

Motion:



Planning Board Minutes
January 11, 2024 @ 7:00 PM
Media Center Raymond High School
45 Harriman Hill Road, Raymond, NH 03077

169 **Mr. McLeod made a motion to move zoning amendment number 7 to**
170 **the ballot as written; Mr. McDonald seconded the motion.**

171
172 **A roll call vote was taken,**
173 **Mr. McDonald – Yes**
174 **Mr. Daigle – Yes**
175 **Mr. Mcleod – Aye**
176 **Ms. Bridgeo – Yes**
177 **Ms. Gott – Yes**
178 **Ms. Luszcz – Aye**

179
180 **The motion passed with a unanimous vote of 6 in favor, 0 opposed, and 0**
181 **abstention.**

182
183 *Zoning Amendment No. 8 - Article 13 DEFINITIONS: Solar Panels*

184
185 Mr. McLeod explained that there was not an existing definition in the zoning
186 ordinance, so now they are adding one. This is also a type of impervious surface,
187 which has an update in zoning amendment number 1. Ms. Luszcz also commented
188 that as other municipalities have encountered issues with solar panels and runoff,
189 the Board wanted to be prepared and perform the necessary research for the
190 future. There were no comments from the public.

191
192 **Motion:**

193
194 **Mr. McLeod made a motion to move zoning amendment number 8 to**
195 **the ballot as written; Mr. McDonald seconded the motion.**

196
197 **A roll call vote was taken,**
198 **Mr. Mcleod – Aye**
199 **Ms. Bridgeo – Yes**
200 **Ms. Gott – Yes**
201 **Mr. McDonald – Yes**
202 **Mr. Daigle – Yes**
203 **Ms. Luszcz – Aye**

204
205 **The motion passed with a unanimous vote of 6 in favor, 0 opposed, and 0**
206 **abstention.**

207
208 **Application # 2023-016 and Application # 2023-017 Fuel NRG Raymond:** A site
209 plan application is being submitted by Daniel M. Flores of SFC Engineering
210 Partnership, Inc. Proposed construction includes a 30,000 gallon above ground



Planning Board Minutes
January 11, 2024 @ 7:00 PM
Media Center Raymond High School
45 Harriman Hill Road, Raymond, NH 03077

211 liquid propane tank with fueling area and truck parking. Future plans include a
212 1,200 square foot commercial building and an additional 30,000 gallon above-
213 ground liquid propane tank. A Conditional Use Permit (Application #2023-017)
214 accompanies the site plan as the proposed construction will render an impervious
215 surface greater than 15% or 2,500 square feet of the lot. The property is located on
216 NH Route 27 and is identified as Raymond Tax Map 32, Lot 69 within Zone C1.

217

218 Daniel Flores of SFC Engineering Partnership, Shawn Thrasher from Crown Energy
219 Solutions, Jessica Hatch of Fuel NRG, and Andrew Wickson of Fuel NRG, came
220 before the Board. Mr. Flores wanted to use a digital copy of the plans with color and
221 some extra information to go along with his presentation. Both Mr. McLeod and Ms.
222 Luszcz said that no new information or plans can be given to the Board at the time
223 of the meeting. Ms. Luszcz read off the abutters list. Mr. Flores stated that the
224 application is deemed complete for review.

225

226

Motion:

227

228

**Mr. McLeod made a motion to accept application #2023-016 as
substantially complete; Ms. Bridge seconded the motion.**

229

230

231

A roll call vote was taken,

232

Mr. McDonald – Yes

233

Mr. Daigle – Yes

234

**Ms. Gott – Abstain because new plans were not presented at the
meeting**

235

Ms. Bridgeo – Yes

236

Mr. Mcleod – Aye

237

Ms. Luszcz – Aye

238

239

The motion passed with a vote of 5 in favor, 0 opposed, and 1 abstention.

240

241

242

Mr. Flores presented the application. The project had a TRC meeting with some
243 comments from Town Staff and DuBois and King which Mr. Flores stated were
244 addressed. The State DOT has approved a driveway permit as well.

245

246

247

248

249

250

251

Mr. Flores explained the difference between liquid propane and fuel oil. Fuel oil can
enter the ground and contaminate groundwater. Liquid propane is only liquid if it is
under pressure, meaning only when it is inside of the tank. If there is a leak, the
propane will turn into gas. Propane is not a regulated substance which means that it
poses no threat to groundwater. He stated that the state of New Hampshire does
not have any regulations on placement of propane tanks because it is not a



Planning Board Minutes
January 11, 2024 @ 7:00 PM
Media Center Raymond High School
45 Harriman Hill Road, Raymond, NH 03077

252 regulated substance. The plans submitted show that they exceed the setbacks set
253 by the fire code and the zoning ordinance.

254

255 Ms. Luszczyk took a poll: hear the public comment before Development with Regional
256 Impact (DRI) review so the public has a chance to speak.

257

258 A roll call vote was taken,

259 Mr. McDonald – Yes

260 Mr. Daigle – Yes

261 Ms. Gott – Abstain

262 Ms. Bridgeo – Yes

263 Mr. McLeod – Aye

264 Ms. Luszczyk – Aye

265

266 Mr. Flores continued with a brief overview of the project. Proposed development
267 includes a fenced 30,000-gallon above ground liquid propane tank, gravel fueling
268 area, gravel area with canopy for parking of up to 10 trucks, and a fenced gravel
269 area for smaller tank storage. The site will accommodate future development
270 consisting of a second 30,000-gallon liquid propane tank, a 30' by 40' single story
271 commercial building with parking, pole barn over truck parking area, a private water
272 well and septic system to support the building, and up to 30,000 gallons of fire
273 cistern with fire pump building. Note that the cistern and fire pump are proposed for
274 the future building, not for the liquid propane tanks.

275

276 **Public Comment:**

277 Bob Haynie at 27 Old Cart Road appeared before the Board. Mr. Haynie stated that
278 he worked on several plants throughout the seacoast area. He knows that propane
279 is safe, but it is not a good location to have the tanks on a hill where the gas can
280 flow down. For example, Palmer is located in a bowl. Mr. Haynie would like to look
281 at plans to get a better look at what will be constructed. Ms. Luszczyk reminded the
282 public that all documents submitted with the application are located on the Town
283 website. Mr. McLeod also let Mr. Haynie borrow his copy of the site plans to review.

284

285 Jim Brigham of 120 Woodland Circle appeared before the Board. He noted that
286 Palmer does not have many abutters nearby and it is illuminated at night versus the
287 new Fuel NRG will have quite a few residents nearby who would not want light
288 pollution at night. Mr. Brigham also voiced concerns regarding the traffic patterns on
289 Route 27. Ms. Luszczyk reminded everyone that a traffic study is a requirement.
290 Overall, Mr. Brigham feels like the location of Fuel NRG is ridiculous as it is in a
291 busy roadway and so close to a residential area.

292

293 Public comment for Fuel NRG closed at approximately 8:08 PM.



294
295
296
297
298
299
300
301
302
303
304
305
306
307
308
309
310
311
312
313
314
315
316
317
318
319
320
321
322
323
324
325
326
327
328
329
330
331
332
333
334
335

Zoning Discussion:

Mr. McLeod wanted to first discuss the zoning determination of the project. The proposed project will be done in a C1 district as a commercial service establishment. Mr. McLeod commented that the use is actually a Petroleum Bulk Plant or Terminal and as the project is in the Groundwater Conservation District, therefore per 5.2.10.7 of the Town's Zoning Ordinance, it states that "the siting or operation of a petroleum bulk plant or terminal" is prohibited. From time stamp 01:14:06 to 01:14:38, Mr. Flores of SFC Engineering stated that the project was reviewed by staff back in August and given a "green light" as well as referencing a "whole writeup" from Maddie Dilonno, circuit rider planner for the Rockingham Planning Commission in which, "...she agreed that petroleum, um, or Propane does not meet the Petroleum definition."

Shawn Thrasher from Crown Energy Solutions, Auburn, NH states Time stamp 01:18:04, "Propane is not considered a petroleum." He goes on to say at Time stamp 1:20:34, "By definition, if you were to look up "petroleum" it's not, it's not listed under, under any any EPA or government standards as a petroleum product. (referring to Liquid Propane)" Mr. McLeod counters that it's "common knowledge" that propane is a petroleum product and Mr. Thrasher retorts, "I guess "common" and "mine" are different."

At time stamp 01:24:36, "If I could just make a comment, Jessica Hatch, of the Fuel NRG in Windham, NH, I don't think anyone is negating what the regulations say and the intent of them, what we're trying to make a point of is "petroleum" as a specific word does not include "propane".

At time stamp 01:28:40, Andrew Wickson, Fuel NRG, states "They (NH DES) do not classify propane as a petroleum product." No reference was given to support this claim.

Motion:

Ms. Bridgeo made a motion to deny application # 2023-016 without prejudice, as prohibited use 5.2.10.7 and definition 5.2.4.11; Mr. McLeod seconded the motion.

A discussion ensued where all the members had an opportunity to speak. Member Gott was not prepared to deny due to being unsure about the



Planning Board Minutes
January 11, 2024 @ 7:00 PM
Media Center Raymond High School
45 Harriman Hill Road, Raymond, NH 03077

336 classification of propane as a petroleum product. Bob McDonald commented
337 that the propane is stored in bulk liquid form and is therefore a bulk petroleum
338 plant or terminal. Jim McLeod noted he was sorry the application got so far
339 without this being addressed.
340

341

342

A roll call vote was taken,

343

Ms. Bridgeo – Aye – The use is prohibited in GCOD

344

Mr. McLeod – Aye – The use is prohibited in GCOD

345

Ms. Gott – No – due to the lack of clarity of propane as petroleum

346

Mr. Daigle – Aye – The use is prohibited in GCOD

347

Mr. McDonald – Yes – The use is prohibited in GCOD

348

Ms. Luszcz – Yes – The use is prohibited in GCOD

349

350 **The motion passed with a majority vote of 5 in favor, 1 opposed, and 0**
351 **abstentions.**

352

353

354 **Application #2023-008 Onway Lake Village Subdivision:**

355 A subdivision application is being submitted by Shiv Shrestha and Matt Silverstein
356 of Onway Lake Development, LLC. The subdivision proposes the initial construction
357 of a 38-lot conservation subdivision with cul-de-sac streets which will constitute
358 Phase 1 of a potential future 3 phase development. A Special Permit related to
359 wetland impacts within the development accompanies the application. The property
360 is located at 15 Sargent Drive at the intersection of Sargent Drive and Deer Run
361 Road, and is located just west of the Green Road/Sargent Drive intersection, and is
362 identified as Raymond Tax Map 20 Lot 58 and Tax Map 26 Lot 1, and within Zone
363 B.
364

364

365 Ms. Luszcz read off the abutters list. Joe Coronatti from Jones and Beach
366 Engineers, Matthew Silverstein of Onway Lake Development, LLC, and Attorney
367 Kevin Baum came before the Board. There was a discussion on who should be
368 notified as an abutter.
369

369

370 **Motion:**

371

372

**Mr. McLeod made a motion for future notifications to include the
Onway Lake Association; Ms. Bridgeo seconded the motion.**

373

374

375 Ms. Bridgeo feels that this is too narrow and other easements need to be
376 notified as well.
377

377



Planning Board Minutes
January 11, 2024 @ 7:00 PM
Media Center Raymond High School
45 Harriman Hill Road, Raymond, NH 03077

378
379
380
381
382
383
384
385
386
387
388
389
390
391
392
393
394
395
396
397
398
399
400
401
402
403
404
405
406
407
408
409
410
411
412
413
414
415
416
417
418
419

Public Comment:

Tara Campbell noted that if the Onway Lake Association were to be notified, the abutters list would have to include everyone on the association which would mean people on the other side of the lake. Public comment closed.

Mr. Baum commented that per RSA676:4,(d)1, they have already met those requirements for notification.

Mr. McLeod retracted his motion and Ms. Bridgeo retracted her second. Mr. McLeod is in agreement with the applicant that they have met the requirements, and the Board should move forward with hearing the application.

Ms. Bridgeo commented that a Letter of Authorization is missing for Tax Map 26 Lot 1. Mr. Coronatti stated that the Letters of Authorization were duplicates of the same text without an update of the Tax Map and Lot numbers. Ms. Luszcz said that although there are clerical errors, the Board may continue to hear the application, but they cannot make any votes on the application. Ms. Bridgeo feels that there are missing Letters of Authorization from the other condominiums.

Ms. Gott asked if the lots have been subdivided yet. Mr. Coronatti said that it has been divided for condominiums but the Tax Map and Lot numbers have not been changed yet.

Public Comment

Scott Campbell mentioned that on April 7, 1988 and June 15, 1989 Planning Board meetings, the conditions of approval and wondered if the existing home owners had more stake than owners of the paper lots . Mr. McLeod stated that this will need to be given to the Board by Town Staff to review. Public comment closed.

Motion:

Mr. McLeod made a motion to not accept application #2023-008 Onway Lake Village Subdivision as complete at this time and that the Board gets adjudication from their legal for the next meeting so that they can have it settled; Ms. Bridgeo seconded the motion.

Mr. Daigle, Mr. McDonald, and Ms. Gott commented that they agree with the motion. Ms. Luszcz also agrees with the motion as it will give more time for clarification with legal.

**A roll call vote was taken,
Ms. Bridgeo – Aye**



Planning Board Minutes
January 11, 2024 @ 7:00 PM
Media Center Raymond High School
45 Harriman Hill Road, Raymond, NH 03077

420 **Mr. Mcleod – Aye**
421 **Mr. Daigle – Yes**
422 **Mr. McDonald – Yes**
423 **Ms. Gott – Yes**
424 **Ms. Luszcz – Yes**

425

426 **The motion passed with a unanimous vote of 6 in favor, 0 opposed, and 0**
427 **abstention.**

428

429 Ms. Luszcz stated that since the Board is rescheduling the application in a public
430 meeting, notice to the abutters is not required.

431

432 **Motion:**

433

434 **Mr. McLeod made a motion to reschedule application #2023-008**
435 **Onway Lake Village Subdivision to February 22, 2024, at the**
436 **Raymond High School Media Center, 45 Harriman Hill Road at**
437 **7:00pm; Mr. Daigle seconded the motion.**

438

439 **A roll call vote was taken,**
440 **Ms. Gott – Yes**
441 **Ms. Bridgeo – Yes**
442 **Mr. Mcleod – Aye**
443 **Mr. Daigle – Yes**
444 **Mr. McDonald – Yes**
445 **Ms. Luszcz – Yes**

446

447 **The motion passed with a unanimous vote of 6 in favor, 0 opposed, and 0**
448 **abstention.**

449

450 **Approval of Minutes:**

451

452 ***December 21, 2023***

453

454 **Motion:**

455

456 **Mr. McLeod made a motion to defer the December 21, 2023 and**
457 **January 4, 2024 meeting minutes until the next available time to do**
458 **them; Mr. McDonald seconded the motion.**

459

460 **A roll call vote was taken,**
461 **Mr. McDonald – Yes**



Planning Board Minutes
January 11, 2024 @ 7:00 PM
Media Center Raymond High School
45 Harriman Hill Road, Raymond, NH 03077

462
463
464
465
466
467
468
469
470
471
472
473
474
475
476
477
478
479
480
481
482
483
484
485
486
487
488
489
490
491
492
493
494
495
496
497
498
499
500
501
502
503

Mr. Daigle – Yes
Mr. Mcleod – Aye
Ms. Bridgeo – Yes
Ms. Gott – Yes
Ms. Luszcz – Aye

The motion passed with a unanimous vote of 6 in favor, 0 opposed, and 0 abstention.

Other Business:

Staff Updates:

No staff were present.

Board Member Updates:

Mr. McLeod volunteered to serve on the CIP as a Planning Board Member.

Motion:

Ms. Bridgeo made a motion to appoint Mr. McLeod as our second Planning Board CIP member; Ms. Luszcz seconded the motion.

A roll call vote was taken,

Mr. McDonald – Yes
Ms. Bridgeo – Yes
Ms. Gott – Yes
Mr. Daigle - Yes
Mr. Mcleod – Aye
Ms. Luszcz – Aye

The motion passed with a unanimous vote of 6 in favor, 0 opposed, and 0 abstention.

Mr. McDonald on behalf of the cemetery committee, there will be 3 cemetery trustee positions available to vote on in the March election. The dates to enter names are between January 24 to February 2. For further information, go to the Raymond Town website under the Cemetery Advisory Committee.

Any other business:

None

Adjournment:



504
505
506
507
508
509
510
511
512
513
514
515
516
517
518
519
520
521
522
523
524
525
526
527
528
529
530
531
532
533
534
535
536
537
538
539
540
541
542
543
544
545

Motion:

Mr. McLeod made a motion adjourn; Mr. McDonald seconded the motion.

**A roll call vote was taken,
Ms. Gott – Yes
Ms. Bridgeo – Yes
Mr. Mcleod – Aye
Ms. Luszcz – Aye
Mr. Daigle – Yes
Mr. McDonald – Yes**

The motion passed with a unanimous vote of 5 in favor, 0 opposed, and 0 abstention.

Chair Luszcz announced the next meeting will be on Thursday January 18, 2024 at 7:00 PM and adjourned the meeting at approximately 10:00 PM.

Respectfully submitted,

Christine M. Aiello

The video of this meeting is to be preserved for 5 years, attached to these minutes and made part of the permanent record.

Attachments:

2024 Zoning Ordinance Amendments:

Zoning Amendment No. 1 - Article 5: Overlay Districts; Subsections 5.2.4.8., 5.2.4.10, 5.2.4.15. and 5.2.6.2.5. Conditional Uses:

Are you in favor of the adoption of Amendment No. 1 as proposed by the Planning Board for the Town Zoning Ordinance as follows: To amend **Article 5: Overlay Districts** specifically to amend **Subection 5.2.4.8 DEFINITIONS** to amend the definition of **Impervious Surface** as follows: A surface through which regulated substances cannot pass when spilled. Impervious surfaces include concrete unless unsealed cracks or holes are present. Asphalt; earthen, wooden, or gravel surfaces; or other surfaces which could react with or dissolve when in contact with the substances stored on them are not considered impervious for the express purpose of retaining the regulated substances,



Planning Board Minutes
January 11, 2024 @ 7:00 PM
Media Center Raymond High School
45 Harriman Hill Road, Raymond, NH 03077

546 however these surfaces are considered impervious for the calculation of
547 stormwater impacts and other regulatory calculations separate from the
548 retention of spills. (03/24); **FURTHER to amend Subsection 5.2.4.10**
549 **DEFINITIONS** to amend the definition of **Outdoor Storage** as follows: Storage
550 of materials where they are not protected by the elements by a roof, walls, and a
551 floor with a surface impervious to regulated substances. (03/24); **FURTHER to**
552 **amend Subsection 5.2.4.15 DEFINITIONS** to amend the definition of
553 **Secondary Containment** as follows: A structure such as a berm or dike with a
554 surface impervious to regulated substances which is adequate to hold at least
555 one-hundred ten percent (110%) of the volume of the largest regulated
556 substances container that will be stored there. (03/24); and **FURTHER to amend**
557 **Subsection 5.2.6.2.5, Conditional Uses** as follows: All regulated substances
558 stored in containers with a capacity of more than 5 gallons must be stored in
559 product-tight containers on a surface impervious to regulated substances
560 designed and maintained to prevent flow to exposed soils, floor drains, and
561 outside drains. (03/24)
562

563 **Zoning Amendment No. 2 - Article 5: Overlay Districts; 5.2.4. DEFINITIONS;**
564 **Add Subsection 5.2.4.21. Wetland Buffer:**

565 Are you in favor of the adoption of Amendment No. 2 as proposed by the
566 Planning Board for the Town Zoning Ordinance as follows – To amend **Article**
567 **5: Overlay Districts** specifically to amend **Section 5.2.4. DEFINITIONS** by
568 adding the following **Subsection 5.2.4.21. “Wetland Buffer”**: Wetland buffer or
569 wetland setback means a designated area contiguous or adjacent to a wetland
570 that is required for the continued maintenance, function, and ecological stability
571 of the wetland. (03/24)
572

573 **Zoning Amendment No. 3 - Article 4: ZONES; Section 4.9.3. DISTRICT**
574 **BOUNDARIES, Subsection 4.9.3.1. Shoreland Protection Area:**

575 Are you in favor of the adoption of Amendment No. 3 as proposed by the
576 Planning Board for the Town Zoning Ordinance as follows: *To amend Article 4:*
577 **ZONES** specifically to amend **Section 4.9.3. DISTRICT BOUNDARIES;**
578 **Subsection 4.9.3.1. to the following: SHORELAND PROTECTION AREA:** Is
579 any area of land within seventy-five (75)feet of the seasonal high-water mark of
580 any river, brook, lake or pond, or intermittent or perennial stream.(03/24)
581

582 **Zoning Amendment No. 4 - Article 4: ZONES; Section 4.9.3. DISTRICT**
583 **BOUNDARIES, Add Subsection 4.9.3.5. Wetland Setback Area:**

584 Are you in favor of the adoption of Amendment No. 4 as proposed by the
585 Planning Board for the Town Zoning Ordinance as follows: *To amend Article 4:*
586 **ZONES** specifically to amend **Section 4.9.3. DISTRICT BOUNDARIES; by**
587 **adding the following Subsection 4.9.3.5. “Wetland Setback Area”:** as



588 defined in Section 15.3.2. (03/24); and **FURTHER** to amend section **4.9.5.** to the
 589 following: “Wetlands and Setbacks” in the heading of the Allowed Uses Table.
 590 (03/24)

591
 592
 593
 594
 595
 596
 597
 598

Zoning Amendment No. 5 - Article 15: AREA AND DIMENSIONAL REQUIREMENTS & ASSOCIATED NOTES; Section 15.1 Area and Dimensional Table

Are you in favor of the adoption of Amendment No. 5 as proposed by the Planning Board for the Town Zoning Ordinance as follows: To amend **Article 15: AREA AND DIMENSIONAL REQUIREMENTS & ASSOCIATED NOTES** specifically to amend **Section 15.1 Area and Dimensional Table** as follows:

Zone	Minimum Lot Size Square Feet	Minimum Lot Size Acreage	Minimum Frontage	Minimum Setbacks			Served by Town Water
				Front	Side	Rear	
G	*	*	*	*	*	*	*

*Refer to section 15.3 Special Requirements in Zone G (03/24)

599
 600

Zoning Amendment No. 6 - Article 4: ZONES; Section 4.9.3. DISTRICT BOUNDARIES: Subsection 4.9.3.3, Subsection 4.9.3.4 and Subsection 4.9.4.2. Rockingham County Soil Survey Map

Are you in favor of the adoption of Amendment No. 6 as proposed by the Planning Board for the Town Zoning Ordinance as follows: To amend **Article 4: ZONES** specifically to amend **4.9.3. DISTRICT BOUNDARIES; Subsection 4.9.3.3, Rockingham County Soil Survey Map** as follows: To amend the reference in **Subsection 4.9.3.3.** to “Rockingham County Soil Survey Map, most current edition” (03/24); **FURTHER** to amend the reference in **Subsection 4.9.3.4.** to “Rockingham County Soil Survey Map, most current edition” (03/24); and **FURTHER** to amend the reference in **Subsection 4.9.4.2.** to “Rockingham County Soil Survey Map, most current edition”. (03/24)

601
 602
 603
 604
 605
 606
 607
 608
 609
 610
 611
 612
 613
 614
 615
 616
 617
 618
 619
 620
 621
 622
 623
 624

Zoning Amendment No. 7 - Article 5: Overlay Districts; Section 5.4. Mixed Use Business Campus Overlay District (03/2007); and Article 14: Allowed Uses Table; Section 14.1 Allowed Uses Table and Subsection 14.2.6. Notes to Allowed Uses Table

Are you in favor of the adoption of Amendment No. 7 as proposed by the Planning Board for the Town Zoning Ordinance as follows: To amend **Article 5,** specifically to remove **Section 5.4 Mixed Use Business Campus Overlay District (MUBCOD)** (03/24); **FURTHER** to amend **Article 14.1 Allowed Uses Table** to specifically remove all references to the Mixed Use Business Campus Overlay District/MUBCOD (03/24); and **FURTHER** to specifically remove **Subsection 14.2.6.** (03/24)



625
626
627
628
629
630
631
632
633

Zoning Amendment No. 8 - Article 13 DEFINITIONS: Solar Panels

Are you in favor of the adoption of Amendment No. 8 as proposed by the Planning Board for the Town Zoning Ordinance as follows: To amend **Article 13: DEFINITIONS** by specifically **adding** the following **Subsection** named **“Solar Panel”**: A Solar Panel is a panel designed to absorb the sun's rays as a source of energy for generating electricity or heating. All Solar Panels are considered 100% impervious for the calculation of impervious surfaces. (03/24)

DRAFT



Zoning Board Draft Minutes
December 20, 6:30 PM
Room 109 Raymond High School
45 Harriman Hill Road, Raymond, NH 03077

1 Zoning Board Members Present:

2 Keith Smith – Chairman

3 Tom Luszcz – Member

4 David Hall – Member

5 Paul McCoy - Member

6

7 Member Absent:

8 Joyce Wood- Alternate

9

10 Staff Present:

11 None

12

13 Staff Absent:

14 Jason Cleghorn – Community Development Director

15

16 **Pledge of Allegiance:** recited by all in attendance.

17

18 **Roll Call:** David Hall, Member; Paul McCoy, Member; Keith Smith, Chair; Tom Luszcz,
19 Member.

20

21 **Approval of Minutes:**

22 **November 15, 2023**

23 **Motion:**

24 **Mr. McCoy made motion to approve the minutes from November 15, 2023, as**
25 **written; Mr. Hall seconded the motion.**

26 Mr. Luszcz commented that he noticed the minutes said “Ms. Luszcz” instead of “Mr.
27 Luszcz”.

28 **A unanimous vote was taken by a show of hands. Motion passed.**

29

30 **Board Member Updates:**

31 Mr. Smith said that they are still waiting for the 2024 ZBA Meeting Calendar from Mr.
32 Cleghorn.

33

34 Mr. McCoy asked for an update on alternates for the Board and Mr. Smith said that it is still
35 with the Board of Selectmen.

36

37 Mr. Luszcz brought up the possibility of updating their Rules of Procedure in 2024 pertaining
38 to ethics training – does the same training have to be reoccurring annually. Mr. Smith said
39 that would be per the Code of Ethics Ordinance and the ZBA cannot change that.

40

41 **Staff Member Updates:**



Zoning Board Draft Minutes
December 20, 6:30 PM
Room 109 Raymond High School
45 Harriman Hill Road, Raymond, NH 03077

42 Mr. Smith said, as necessary, the Building Inspector, Dana Dinsmore, can attend the ZBA
43 meetings and so can the Planning Technician, Christine Aiello, who is currently in training.
44 She was helping Mr. Smith while Mr. Cleghorn was out the previous week.

45

46 **Public Hearing:**

47

48 Mr. Smith asked the applicant if they wished to proceed with the hearing with only 4
49 members of the Board present as it is not part of the grounds for them to appeal. The
50 applicant still wanted to proceed with the hearing. noted that they would be doing the hearing
51 under RSA 673:15 asking to confirm that they will tell the truth, the whole truth and nothing
52 but the truth.

53

54 **Application 2023-011 Brian Thompson – 12 Christina Road**

55 Application for variance has been submitted by Brian Thompson, owner of 12 Christina Road
56 at Map 31/Lot 90. The request is for relief from Article 15, Section 1 of the Town of Raymond
57 Zoning Ordinance which requires setbacks of 30 feet on the side, rear, and front; where 9.72
58 feet on the northeast side is requested to be provided in conjunction with the construction of
59 an attached Accessory Dwelling Unit. The property is located within the Residential B Zoning
60 District.

61

62 Brian Thompson, the applicant, introduced himself and swore to tell the truth. Mr. Thompson
63 first wanted to clarify that the setback should only be 25 feet as it is a lot with less than 2
64 acres; he confirmed the information with both Mr. Cleghorn and Mr. Dinsmore. The Board
65 confirmed this in the Zoning Ordinances for the Town under 15.2 Notes to Area and
66 Dimensional Requirements. Mr. Hall said a rehearing may need to happen since the original
67 information sent out in the legal and abutters notices was incorrect.

68

69 Mr. Thompson summarized that his lot is long and skinny with a ledge in the back where he
70 would not be able to build without blasting; from the front of the property on the left side, his
71 neighbor's house is too close to build next to; the front of the property has the house's septic
72 leach field. The proposed area to build is the righthand side of the property which will come
73 within 10 feet of his neighbor's driveway which would be unbuildable on the neighbor's
74 property.

75

76 Mr. Hall asked why he could not build on a slab. Mr. Thompson said that he would still likely
77 run into some issues with building near the ledge and he was going to put it on a slab
78 anyway.

79

80 Mr. Smith commented that the original application had a variance between 6 and 12 feet
81 versus what Mr. Thompson was presenting tonight and, on the drawing, had 9.72 feet of
82 variance. Mr. Thompson wanted to give himself some room to play around with the exact
83 location as he has not gotten official plans drawn yet. If necessary, he can stick to the 9.72
84 feet of variance. Mr. Smith agreed that the variance needs to be strict and that the 9.72 feet
85 should be followed.



Zoning Board Draft Minutes
December 20, 6:30 PM
Room 109 Raymond High School
45 Harriman Hill Road, Raymond, NH 03077

86

87 Mr. Thompson went over his application answers:

88 1. Granting a variance would not be contrary to the public because: it would not
89 negatively impact the health, safety, economic or social well-being of the community.
90 Further, it would not negatively impact any natural resources, create congestion, or
91 overcrowd any land.

92 2. Granting a variance would be consistent with the spirit of the ordinance because: there
93 will still be enough variance between buildings and the neighboring driveway isn't a
94 buildable area.

95 3. Granting a variance would do substantial justice because: the layout of his lot prevents
96 building anywhere else on the property.

97 4. Granting a variance would not diminish the values of surrounding properties because:
98 there will allow a more than sufficient buffer between buildings.

99 5.
100 b. The proposed use is a reasonable one because his lot is narrow and per the
101 summarized issues above.

102

103 Mr. Luszcz asked about the existing shed on the property – if it was built with a variance. Mr.
104 Thompson said that it did not have a variance and it was built on the property by a contractor,
105 assuming they took care of the paperwork. Mr. Smith asked if he was granted a building
106 permit for the shed and Mr. Thompson assumed that the contractors got the permits
107 necessary. Mr. Thompson said that once the shed is moved, it will have plenty of setback
108 from the property line.

109

110 Mr. Hall's concern was granting a variance without set plans – location, setback, area of the
111 addition, etc. – he would be fine with the setback further away than the 9.72 feet but nothing
112 closer to the neighboring property line. Mr. Thompson is looking to have the addition be
113 1,000 square feet of living space, which is the maximum space per the Zoning Ordinance.
114 Mr. Hall commented that a variance may be needed for the space between the new addition
115 and the existing garage. Mr. Hall asked about how many bedrooms would be in the dwelling
116 and if there would be enough parking to accommodate. Mr. Thompson said it would be a
117 one-bedroom dwelling and he has plenty of parking in his driveway already. Mr. Hall
118 recommends tabling this application to next month to ensure all details are finalized.

119

120 Mr. Smith remarked that Mr. Hall's concerns were related to design versus the application
121 was regarding a variance request. The building plans would need to be approved by a
122 building inspector, not the Zoning Board.

123

124 Mr. McCoy asked if Mr. Thompson could follow a maximum of 10 feet setback to align to
125 Zone A land regulations. Mr. Thompson said yes. Mr. Hall commented also that the applicant
126 may want to also check with the original site plan for the housing development because it
127 may have its own dimensional requirements for each property which would need to be
128 followed along with the Town's ordinance.

129



Zoning Board Draft Minutes
December 20, 6:30 PM
Room 109 Raymond High School
45 Harriman Hill Road, Raymond, NH 03077

130 **Public Comment:**

131 No one was present to make any comment.

132

133 **Motion:**

134 **Mr. Hall made a motion to grant a dimensional side boundary variance for 10**
135 **feet for an accessory dwelling unit to not exceed the requirements of the Town's**
136 **ordinance 6.10 Accessory Dwelling Units; Mr. McCoy seconded the motion.**

137

138 **A vote was taken by show of hands and the motion passed unanimously.**

139

140 **Adjournment:**

141

142 **Motion:**

143 **Mr. Hall made motion to adjourn; Mr. McCoy seconded the motion.**

144 **A unanimous vote was taken by a show of hands. Motion passed.**

145

146 **Chair Smith adjourned the meeting at approximately 7:20 PM.**

147

148 Note: Video Supplement to Minutes can be found @ RCTV on Demand (5 years)

149 <https://cloud.castus.tv/vod/rctv?page=HOME>

150

151 Respectfully submitted,

152

153 Christine M. Aiello