



TOWN OF RAYMOND

Planning Board Agenda

September 16, 2021

7:00 p.m. - Raymond High School

Media Center - 45 Harriman Hill

Application #2021-011 & 2021-013

Public Announcement

*If this meeting is canceled or postponed for any reason the information can be found on our website, posted at Town Hall, Facebook Notification, and RCTV. **

1. Public Meeting

- a) **Application # 2021-011:** An amended site plan application is being submitted by Jacob Doerfler of The Dubai Group, Inc. on behalf of Mega-X. They are proposing to add a scale and more truck parking. The property is represented as Raymond Tax Map 22/ Lot 9-1 and located on Old Manchester Road.

- b) **Application #2021-013:** An application for a two-lot subdivision has been submitted by Scott Cole of Beals Associates, PLLC on behalf of Evan & Catherine Young for property identified as Raymond Tax Map 24/ Lot 7, located at 35 Prescott Road within Zone B. The applicant is proposing to subdivide one lot of 4.89 +/- acres into two lots, current lot with duplex 3.02 +/- acres and new single family house lot 1.87 +/- acres. This property has received two variances previously in 2019 and 2020.

2. Approval of Minutes

- 09/02/2021

3. Public Comment

4. Other Business

- Staff Updates –
- Board Member Updates
- Any other business brought before the board

* Note: If you require personal assistance for audio, visual or other special aid, please contact the Selectmen's Office at least 72 hours prior to the meeting. If this meeting is postponed for any reason, it will be held at a time September 16, 2021.



TOWN OF RAYMOND

Planning Board Agenda

September 16, 2021

7:00 p.m. - Raymond High School

Media Center - 45 Harriman Hill

Application #2021-011 & 2021-013

- **Adjournment (NO LATER THAN 10:00 P.M.)**

| Planning Board Meeting Dates 2021 | |
|---|--|
| Submittal Deadline for Completed Application & Materials | Planning Board Meeting Dates (1st & 3rd Thursdays of the Month) |
| August 19, 2021 | September 16, 2021 Mega-X Beals Associates/Young Subdivision |
| Working meeting | September 23, 2021 |
| September 02, 2021 | October 07, 2021 McDonald's and Warehouse Conceptual |
| September 16, 2021 | October 21, 2021 |
| October 07, 2021 | November 04, 2021 |
| October 21, 2021 | November 18, 2021 |
| November 04, 2021 | December 02, 2021 |
| November 18, 2021 | December 16, 2021 |

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Map # _____ Lot # _____

Site Plan Review Application

Town of Raymond, NH

Project Name: MEGA-X

Location: Old Manchester Road, Raymond, NH 03077

Project Description: Amendment to previously approved Site Plan Application. Expansion of truck parking area with updates to supporting infrastructure.

Zone: New Industrial/Commercial Square Footage: or Number of Residential Units:

Applicant/Agent Information:


Name: Elie ElChalfoun

Phone: 603-892-0919 Fax: MegaXI998@gmail.com

Company: New Sunset Realty, LLC

Address: 73 MacIntosh Lane, Bedford, NH 03110

By signing this application, you are agreeing to all rules and regulations of the Town of Raymond, and are agreeing to allow agents of the Town of Raymond to conduct inspections of your property during normal business hours to ensure compliance with all Raymond Zoning and Site Plan Review Regulations while your application is under consideration and during any construction and operational phases after approval is granted.

Signed*:  Date: 9/10/2021

*Requires notarized letter of permission

Owner Information:

Name: Same as Applicant

Phone: _____ Fax: _____

Company: _____

Address: _____

Signed: _____ Date: _____

Designers of Record: (Provide Name & License Number for each)

Engineer: Doug MacGuire, PE (License #13325)

Surveyor: Tim Sutherland, LLC (License #991)

Soil Scientist: Bruce Gilday (License #012)

Landscape Architect: Randy Knowles (License #008)

Fire Protection Engineer: _____

Other(s): _____

FEES: See attached Fee Schedule

For Office Use Only:

Date Application Received: _____ Total Fees Collected w/Application: _____

Abutters List Received: _____ Plans & Checklist Received: _____



The Dubai Group, Inc.

136 Harvey Road, Bldg B101

Londonderry, NH 03053

603-458-6462 thedubaygroup.com

MEMORANDUM

To: Raymond Planning Board

Date: September 10, 2021

From: Doug MacGuire, PE
The Dubai Group, Inc

Re: Mega-X
Amended Site Plan

The proposed site plan amendment package is intended to enhance the truck parking area of the previously approved Mega-X Gas Station located at the corner of Old Manchester and Scribner Roads.

Post project approvals, the applicant has purchased the entirety of the parcel from the previous landowners. With the additional land acquired, the site was not limited in size and could benefit from some site enhancements. These enhancements include:

+ **Improved Truck Circulation** – Trucks have more room to properly back up into the spaces and parking has been revised to 90 degree versus angled spaces

+ **22 Additional Truck Parking Spaces** – Increases total site parking to 87 spaces, eliminating the need for the previously granted parking waiver on site

+ **Addition of Truck Weighing Scale** – A desirable amenity for truckers, which is not currently available along the Route 101 corridor

+ **Revised Drainage Pond** – Pond has been relocated and sized to accommodate future potential site expansion

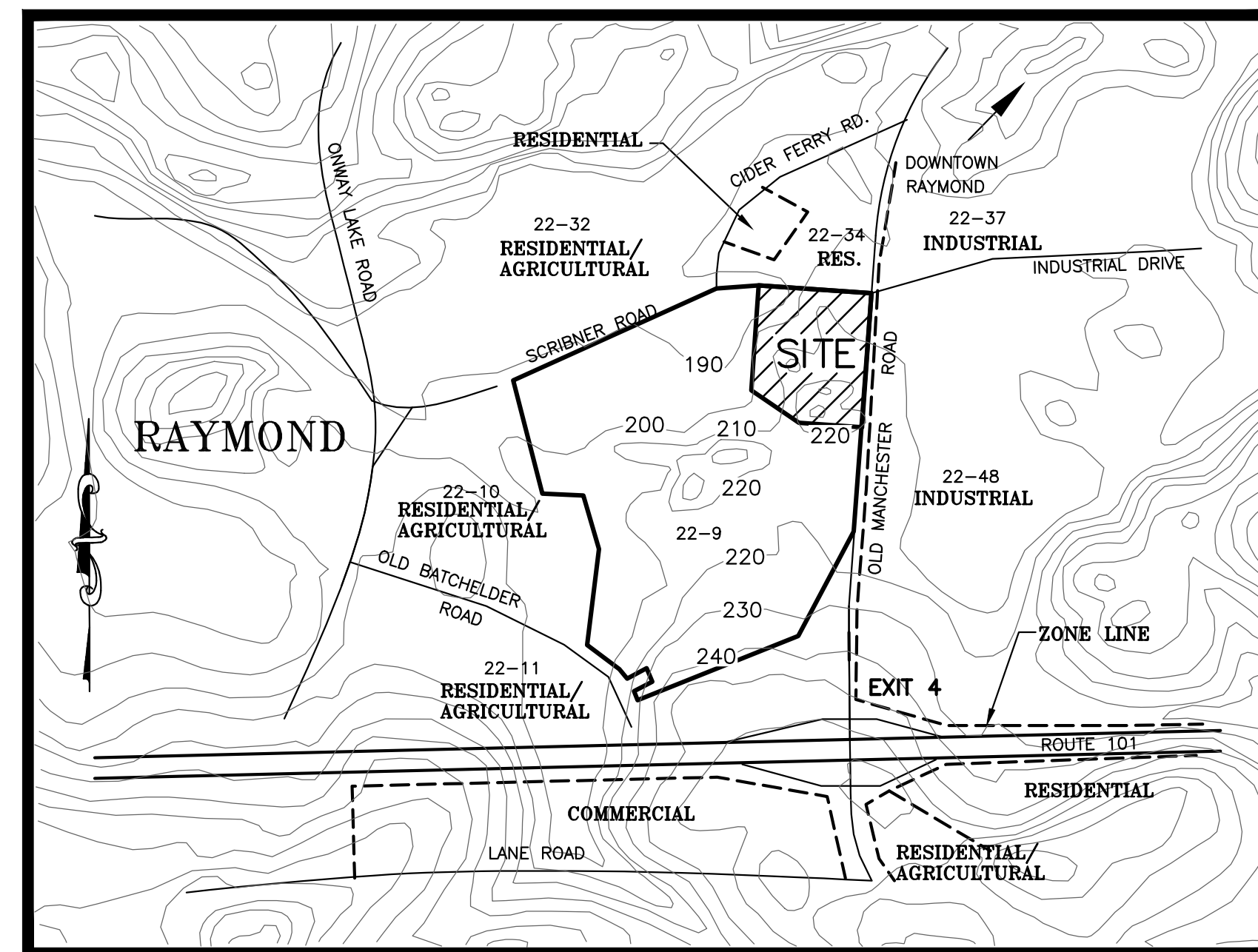
Redlined Plans have been included with the revised set to represent the changes made on site. As depicted, no changes are proposed to the gas station, pump fueling locations, driveway access points, etc.

Memo To: Town of Raymond Planning Board
From: Madeleine DiIunno, Regional Planner, Rockingham Planning Commission
Date: September 10, 2021
Subject: Review of Application 2021-011: Site Plan Application – Mega-X Old Manchester Road (Tax Map 22 Lot 9)

An amended site plan application has been submitted for a Mega-X convenience store with associated drive-thru and gas station located on Old Manchester Road (previously approved by the Raymond Planning Board in 2019). The site is located in Zone C1 as well as the Groundwater Conservation Overlay District. Notable changes to the existing Site Plan include the addition of a truck scale and a significant increase in the number of truck parking spaces. My specific comments are as follows:

1. The application meets completeness requirements for the Board's further consideration. The Board should invoke jurisdiction before taking further action.
2. The Technical Review Committee (TRC) met August 31st to discuss the amended Site Plan Application and expressed concern with the amount of additional traffic that may be generated as a result of the expansion of the site with the truck scale. Increased truck traffic may add pressure to the intersection of Old Manchester Road and Scribner Road and increase the likelihood of traffic obstructing emergency vehicles leaving the Raymond Safety Complex. The Dubai Group, Inc. has indicated that a revised traffic study is underway, which should provide updated information for the Board to consider during its deliberation of this application.
3. Increased truck traffic and parking will likely result in more truck engine idling, which contributes to diminished air quality and increased noise to surrounding properties. The Board should discuss with the applicant how they intend to mitigate these potential impacts.
4. The Board should discuss whether sufficient information has been provided to determine if the proposed lighting plan is in compliance with the Town's Outdoor Lighting Design Standards.

SITE PLAN MEGA-X OLD MANCHESTER ROAD RAYMOND, NEW HAMPSHIRE



**NH ROUTE 101 (EXIT 4) VICINITY
MAP SCALE = 1"=500'**

SHEET INDEX

- 1 Title Sheet
- 2 Presentation Plan
- 3 Existing Conditions Plan
- 4 Site Specific Soils Plan
- 5 Site Layout Plan
- 6-7 Grading, Drainage, & Utility Plan
- 8 Erosion Control Plan
- 9-10 Landscape Plan & Details
- 11-12 Lighting Plan
- 13-19 Site Details
- 20 Pre Development Watershed Plan
- 21 Post Development Watershed Plan

- OS1 Offsite Roadway Improvement Plan

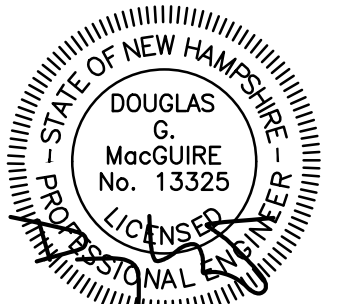


The Dubai Group, Inc.

84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors

TheDubayGroup.com



| REVISIONS: | | | |
|------------|----------|------------------------------|-----|
| REV. | DATE | COMMENT | BY: |
| 1 | 11/19/19 | REVS PER TOWN COMMENTS | SJK |
| 2 | 12/6/19 | REVS PER TOWN COMMENTS | SJK |
| 3 | 12/13/19 | REVISIONS TO OFFSITE PLAN | DGM |
| 4 | 3/23/20 | REVISIONS PER AOT COMMENTS | JMM |
| 5 | 4/28/20 | REVS PER AOT & TOWN COMMENTS | JMM |
| 6 | 6/23/20 | REVS PER TANK DESIGN & GC | SJK |
| 7 | 11/4/20 | REVISED WATER LINE | JMM |
| 8 | 07/15/21 | REVISED LAYOUT | JHD |
| 9 | 09/3/21 | REVISED PER TOWN COMMENTS | JHD |

DRAWN BY: WA
CHECKED BY: DGM
DATE: AUG. 21, 2019
SCALE: NTS
FILE: 364 - COVER
DEED REF: -

PROJECT:

MEGA-X

MAP 22 LOT 9-1

OLD MANCHESTER ROAD
RAYMOND, NH 03077

OWNER

NEW SUNSET REALTY, LLC
73 MACINTOSH LANE
BEDFORD, NH 03110

SHEET TITLE:

**TITLE
SHEET**

| | |
|--|------|
| APPROVED BY THE RAYMOND PLANNING BOARD | |
| | |
| CHAIRPERSON | DATE |

N:\PROJECTS\364-MegaX-Raymond\DWG\CURRENT\364 - COVER.dwg



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603-458-6462

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Planners
Surveyors

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REVISIONS:

| REV. | DATE | COMMENT | BY |
|------|----------|----------------|-----|
| 8 | 07/15/21 | REVISED LAYOUT | JHD |

DRAWN BY: WA
CHECKED BY: DGM
DATE: AUG. 21, 2019
SCALE: NTS
FILE: 364 - COVER
DEED REF: -

PROJECT:

MEGA-X

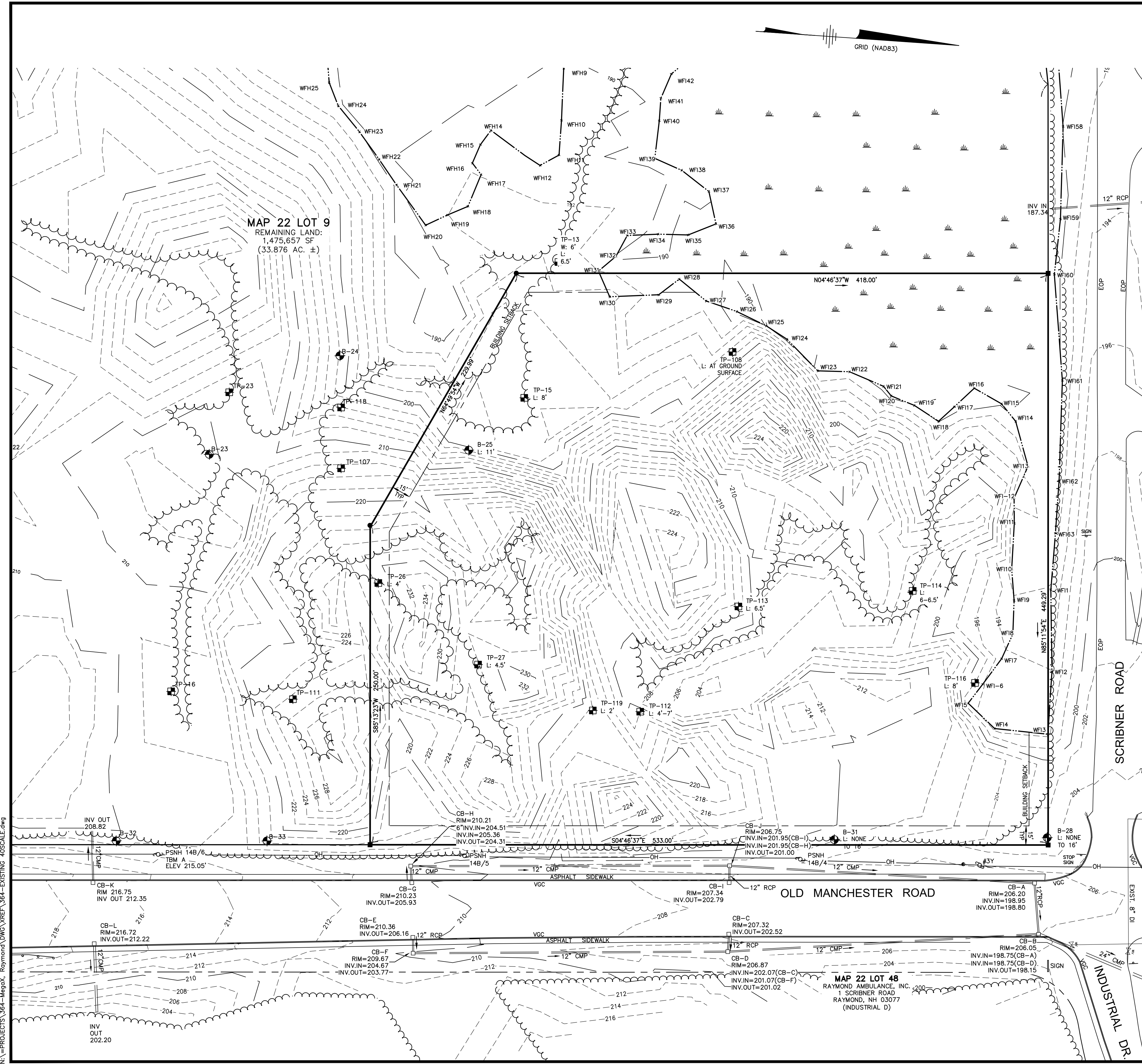
MAP 22 LOT 9-1
OLD MANCHESTER ROAD
RAYMOND, NH 03077

OWNER

NEW SUNSET REALTY, LLC
73 MACINTOSH LANE
BEDFORD, NH 03110

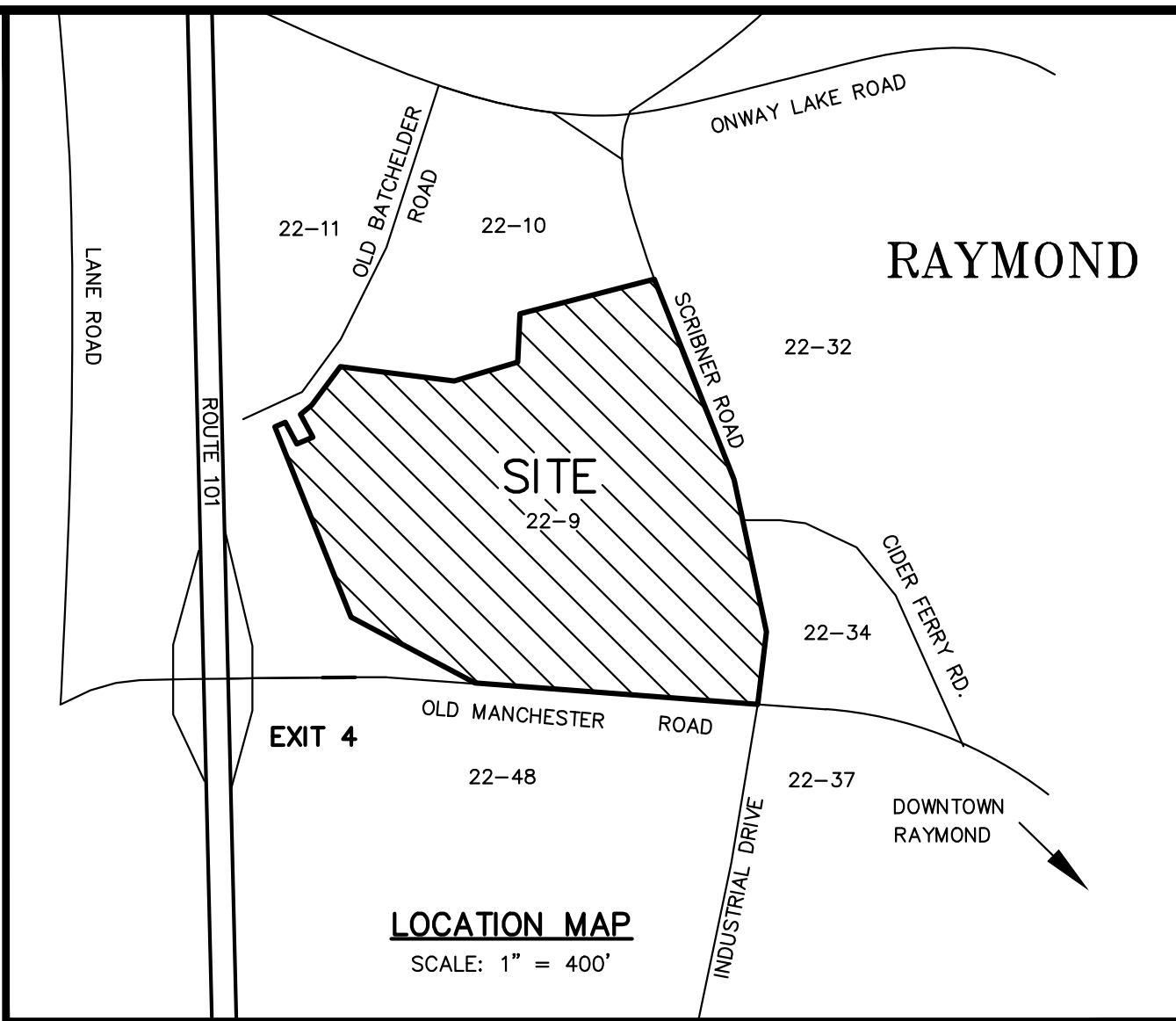
SHEET TITLE:

**PRESENTATION
PLAN**



MAP 22 LOT 9
REMAINING LAND:
1,475,657 SF
(33.876 AC. ±)

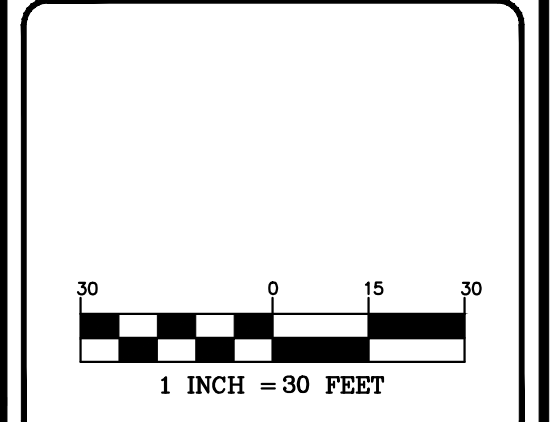
GRID (NAD83)



LOCATION MAP
SCALE: 1" = 40'



The Dubay Group, Inc.
84 Range Road
Windham, NH 03087
603-458-6462
Engineers
Planners
Surveyors
TheDubayGroup.com



PLAN REFERENCES:

- "SUBDIVISION PLAN FOR LAND IN ROCKINGHAM COUNTY, RAYMOND, N.H. KNOWN AS GRANITE MEADOWS LOCATED ON TAX MAP 5, LOT 52A AND OWNED BY: CDFA, 14 DIXON AVE. SUITE 102, CONCORD, NH 03301 DATED JUNE 1998, SCALE: 1"=100' DESIGNED BY: MAGUIRE GROUP; SHEET 2 OF 20 RECORDED R.C.R.D. PLAN NO. D-30451.
- "A SURVEY & PLAT OF PROPERTY PREPARED FOR PIKE INDUSTRIES, INC. SITUATED IN THE TOWN OF RAYMOND, N.H." PREPARED BY: R.S.L. LAYOUT & DESIGN, INC. DATED: NOVEMBER 30, 1989, SCALE: 1"=100', RECORDED R.C.R.D. PLAN NO. D-19986.
- "SHEET 1 OF 2, A SURVEY AND PLAT OF A REVISED SUBDIVISION PREPARED FOR PIKE INDUSTRIES INC. SITUATED IN THE TOWN OF RAYMOND N.H." PREPARED BY R.S.L. LAYOUT & DESIGN INC. DATED: NOV. 17, 1987, SCALE: 1"=100'. RECORDED R.C.R.D. PLAN NO. D-17579.
- "AS-BUILT PLANS; SHEET NO. 84, 86, 87 & 88 OF 628, R.O.W. PLANS-ROUTE 101, RAYMOND, N.H.", DEPT. OF TRANSPORTATION, PROJECT NO. P-7959-D, FEDERAL AID PROJECT NO. FFD-018-2 (51).

NOTES:

- OWNER OF RECORD: (MAP 22 LOT 9)
GRANITE MEADOWS, LLC
68 RIVER BEND WAY
MANCHESTER, NH 03103
REF. DEED: BK. 5018 PG. 0398
- THE INTENT OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS AND TOPOGRAPHY FOR A LIMITED AREA OF MAP 22 LOT 9. THE BOUNDARY INFORMATION IS BASED ON AN ON-THE-GROUND SURVEY PERFORMED BY THIS OFFICE, DATED JUNE THROUGH JULY 2019; TOTAL ACREAGE OF LOT 9 IS 39.110 ACRES, PLUS OR MINUS.
- BEARINGS SHOWN ARE BASED ON GRID NORTH VIA GPS OBSERVATIONS TAKEN JUNE 13, 2019; VERTICAL DATUM IS REFERENCED TO NHDOT DISK #383-0140 (NAVD88) FOUND ON OVERPASS BRIDGE.
- TOPOGRAPHY AND LOCATION OF DELINEATED WETLANDS SHOWN HEREON IS BASED ON MAGUIRE GROUP SUBDIVISION PLAN FOR CDFA, PLAN #D-30451, AS PERMITTED UNDER WETLAND PERMIT #2008-0025.
- LOT 9 IS ZONED COMMERCIAL 1 (C1), IS SITUATED IN THE GROUNDWATER PROTECTION ZONE:
MINIMUM LOT AREA: 0.5 ACRES (21,780 SF)
MINIMUM FRONTAGE: 50FT
FRONT SETBACK: 15FT
SIDE/REAR: 15FT
- LOT 9 IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOODPLAIN) PER FIRM MAP NO. 33015C0190E WITH AN EFFECTIVE DATE OF MAY 17, 2005.
- SCRIBNER ROAD AND OLD MANCHESTER ROAD ARE PUBLIC WAYS OF VARIABLE WIDTH.

LEGEND

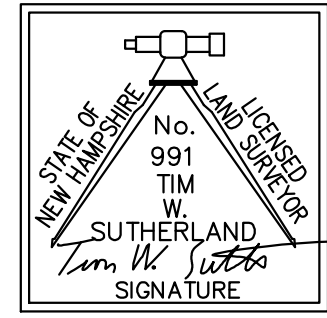
- PROPERTY LINE
- - - ABUTTER LINE
- ○ ○ ○ ○ STONE WALL
- VERTICAL GRANITE CURB
- EDGE OF PAVEMENT
- DHF
- IPF
-
-
-
-
-
- BUILDING SETBACK
- - - DELINEATED WETLAND

LAND SURVEYORS CERTIFICATION:

THIS PLAN AND THE SURVEY ON WHICH IT IS BASED, WAS MADE ON THE GROUND UNDER MY DIRECT SUPERVISION IN JULY OF 2019 IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE AND THE TOWN OF DERRY WITHIN WHICH IT IS LOCATED WITH A TRAVERSE ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000.

Tom W. Sutherland
T.M. W. SUTHERLAND, L.L.S. #991

8/26/19
DATE



| REVISIONS: | | | |
|------------|-------|----------|-----|
| REV. | DATE: | COMMENT: | BY: |
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DRAWN BY: JHD
CHECKED BY: DGM
DATE: AUG. 21, 2019
SCALE: 1"=40'
FILE: 364-EXISTING 40SCALE
DEED REF: -

PROJECT:
MEGA-X
MAP 22 LOT 9-1
OLD MANCHESTER ROAD
RAYMOND, NH 03077
OWNER:
NEW SUNSET REALTY, LLC
73 MACINTOSH LANE
BEDFORD, NH 03110

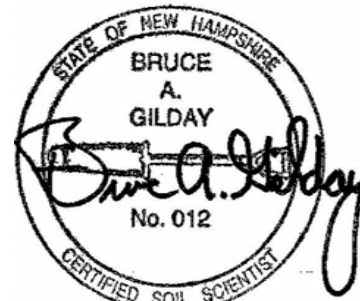
SHEET TITLE:
EXISTING CONDITIONS PLAN

N:\PROJECTS\364-MEGA-X-Raymond\DWG\XREF\364-EXISTING-40SCALE.dwg

SOIL MAPPING NOTES

1. SITE SPECIFIC SOIL MAPPING WAS PERFORMED BY BAG LAND CONSULTANTS: CONCORD, NH PHONE 603-228-5775 IN JUNE 2019 TO THE STANDARDS OF SITE SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT, SSSNNE SPECIAL PUBLICATION NO. 3, VERSION 4, FEBRUARY 2011.

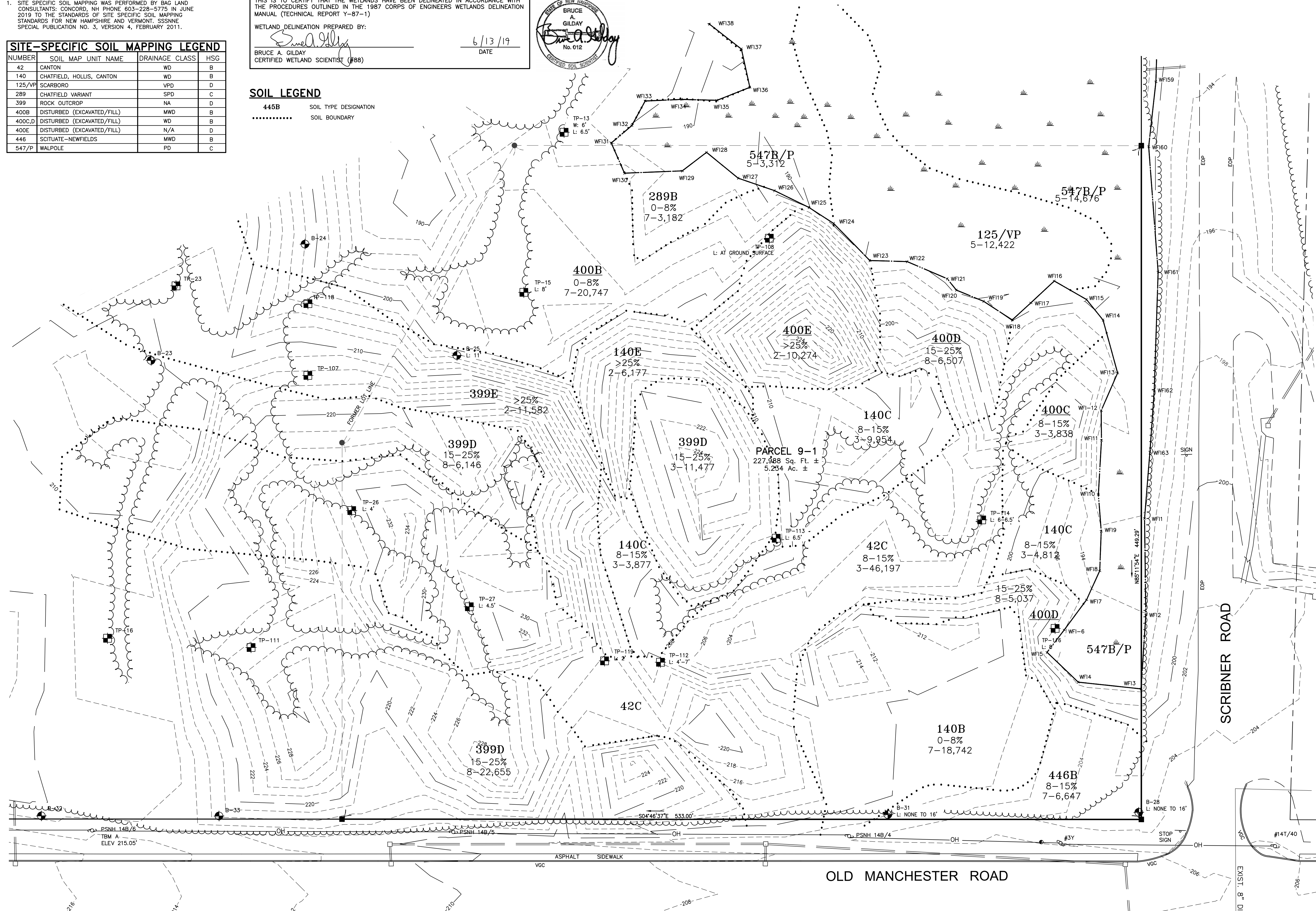
THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (TECHNICAL REPORT Y-87-1)
 WETLAND DELINEATION PREPARED BY:
 Bruce A. Gilday
 CERTIFIED WETLAND SCIENTIST (#88)
 DATE: 6/13/19



| NUMBER | SOIL MAP UNIT NAME | DRAINAGE CLASS | HSG |
|--------|----------------------------|----------------|-----|
| 42 | CANTON | WD | B |
| 140 | CHATFIELD, HOLLIS, CANTON | WD | B |
| 125/VP | SCARBORO | VPD | D |
| 289 | CHATFIELD VARIANT | SPD | C |
| 399 | ROCK OUTCROP | NA | D |
| 400B | DISTURBED (EXCAVATED/FILL) | MWD | B |
| 400C,D | DISTURBED (EXCAVATED/FILL) | WD | B |
| 400E | DISTURBED (EXCAVATED/FILL) | N/A | D |
| 446 | SCITUATE-NEWFIELDS | MWD | B |
| 547/P | WALPOLE | PD | C |

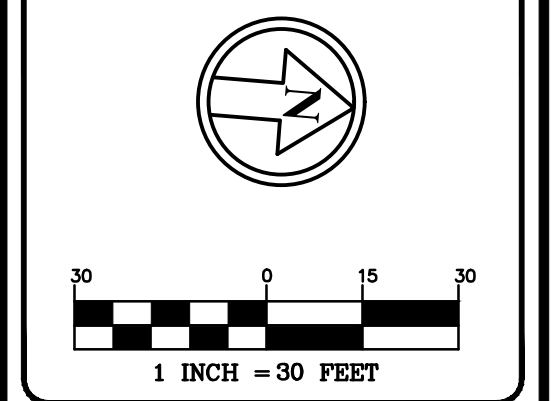
SOIL LEGEND

445B SOIL TYPE DESIGNATION
 SOIL BOUNDARY



The Dubai Group, Inc.
 84 Range Road
 Windham, NH 03087
 603-458-6462

Engineers
 Planners
 Surveyors
 TheDubayGroup.com



| REV. | DATE | COMMENT | BY |
|------|---------|------------------------------|-----|
| 4 | 3/23/20 | REVISIONS PER AOT COMMENTS | JMM |
| 5 | 4/28/20 | REVS PER AOT & TOWN COMMENTS | JMM |

DRAWN BY: JHD
 CHECKED BY: DGM
 DATE: AUG. 21, 2019
 SCALE: 1"=30'
 FILE: 364-SITE-SPECIFIC SOILS
 DEED REF: -

PROJECT:
MEGA-X
 MAP 22 LOT 9-1
 OLD MANCHESTER ROAD
 RAYMOND, NH 03077
 OWNER

NEW SUNSET REALTY, LLC
 73 MACINTOSH LANE
 BEDFORD, NH 03110

SHEET TITLE:
SITE-SPECIFIC SOILS PLAN

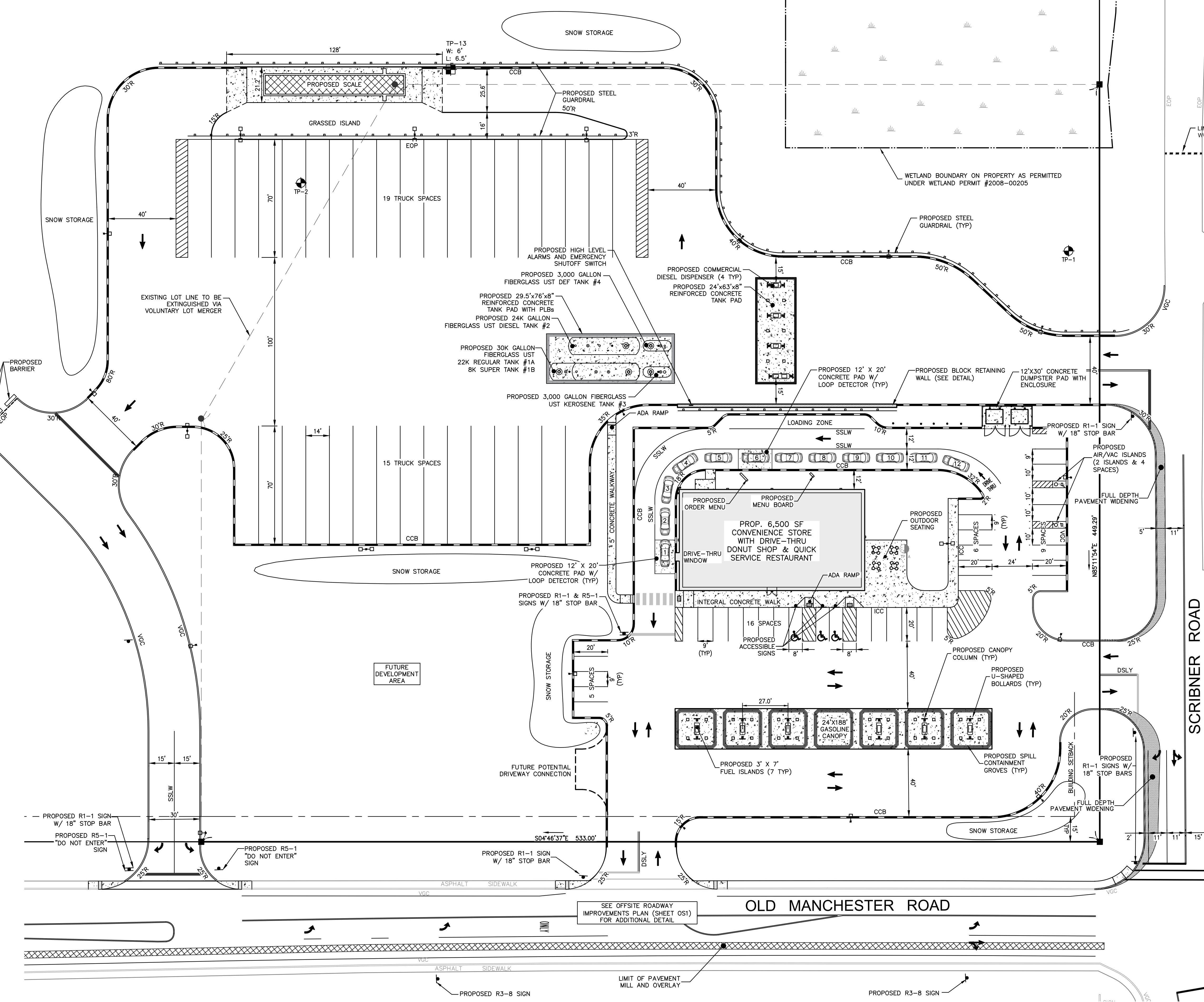
N:\PROJECTS\364-MegaX-Raymond\DWG\CURRENT\364-SITE-SPECIFIC SOILS.dwg

GENERAL NOTES:

OWNER OF RECORD: MAP 22 LOT 9 1,703,196 SF (39.1 AC ±)

GRANITE MEADOWS, LLC
C/O PD ASSOCIATES, LLC
68 RIVER BEND WAY
MANCHESTER, NH 03103
BOOK 5018 PAGE 0398

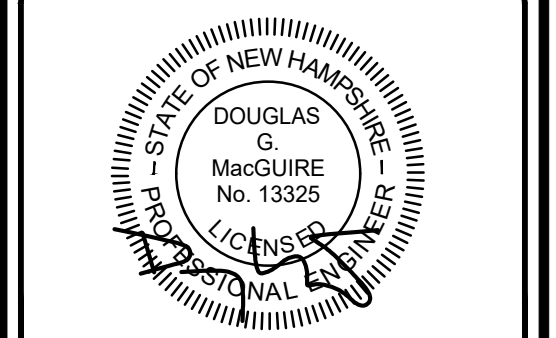
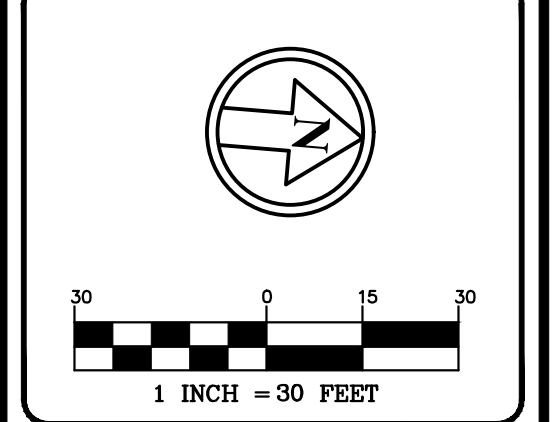
- THE PURPOSE OF THIS PLAN IS TO CONSTRUCT A GAS STATION W/ CONVENIENCE STORE AND DRIVE-THRU WITH SUPPORTING INFRASTRUCTURE.
- THE SUBJECT PARCEL IS ZONED COMMERCIAL 1 (C1 DISTRICT) AND IS SITUATED IN THE GROUNDWATER PROTECTION ZONE.
- THE PROPOSED LOT WILL BE SERVED BY TOWN WATER AND ON-SITE SEPTIC SYSTEMS.
- ALL WORK TO BE DONE IN CONFORMANCE WITH THE TOWN OF RAYMOND REGULATIONS. ALL ROADS, STRUCTURES, AND DRAINAGE TO MEET TOWN OF RAYMOND SPECIFICATIONS.
- ALL BUILDINGS AND SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS REVISED IN 2010, OR LATEST EDITION.
- CURRENT COMMERCIAL 1 ZONING REQUIREMENTS:
MINIMUM LOT AREA = 21,780 SF = 0.5 AC
MINIMUM FRONTAGE = 50'
FRONT SETBACK = 15'
SIDE SETBACK = 15'
REAR SETBACK = 15'
PARKING SETBACK = 10'
BUILDING HEIGHT = MAX. 3 STORIES (30')
BUILDING SEPARATION = 30' (1 STORY), 35'(2 STORIES), 45'(3 STORIES), 55'(4 STORIES), 65'(GREATER THAN 5 STORIES)
- PARKING CALCULATIONS:
GASOLINE SUPPLIER REQUIRES 5 SPACES + 1 SPACE/PUMP + 2 SPACES/SERVICE BAY
5 SPACES + 14 GAS PUMPS + 3 DIESEL PUMPS = 22 SPACES
RETAIL-HIGH VOLUME REQUIRES 8 SPACES/1,000 SF GFA
8 * (6,500 SF - 2,400 SF RESTAURANT)/1,000 SF = 33 SPACES
RESTAURANT REQUIRES 1 SPACE/2 SEATS + 1 SPACE/200 SF GFA
40 SEATS/2 + 2,000 SF/200 = 32 SPACES
TOTAL PARKING SPACES REQUIRED = 87 SPACES
PARKING SPACES PROVIDED = 87 SPACES
- WAIVERS REQUESTED:
1. RELIEF FROM SECTION 6.006, PARKING STANDARDS (MIN. SPACES REQUIRED).
- THE TOTAL AREA OF THE PARCEL TO BE DISTURBED BY SITE IMPROVEMENT ACTIVITIES EXCEEDS 100,000 SQUARE FEET, NECESSITATING AN NHDES ALTERATION OF TERRAIN PERMIT.
- IN THE EVENT ACCUMULATIONS OF WINTER SNOW VOLUMES EXCEED ON-SITE STORAGE CAPACITIES, EXCESS VOLUMES OF SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A LEGAL DUMPING SITE.
- SIGN PERMIT SHALL BE OBTAINED PRIOR TO INSTALLATION.
- ALL CATCH BASINS & THE DRAINAGE POND SYSTEMS SHALL BE CLEANED OF DEBRIS TWICE PER YEAR & INSPECTED TO MAKE SURE THEY ARE OPERATING AS DESIGNED. THE TIME OF REMOVAL OF DEBRIS SHOULD BE IN THE SPRING AND FALL SEASONS.
- SEE ARCHITECTURAL PLANS FOR WALKWAYS AND OTHER FEATURES AT THE BUILDINGS. CONTRACTOR TO PERFORM THIS WORK AS DIRECTED BY THE OWNER.
- THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. THE DUBAY GROUP, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT NEW HAMPSHIRE DIG-SAFE TO CONFIRM UTILITY LOCATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL UNDERGROUND STORAGE TANKS, PRODUCTS AND VENTS SHALL BE COMPLY WITH CURRENT E.P.A. REGULATIONS.
- SNOW AND ICE CONTROL SHALL BE PERFORMED BY A "GREEN SNO-PRO" CERTIFIED CONTRACTOR FOLLOWING BEST MANAGEMENT PRACTICES FOR THE APPLICATION OF DE-ICING MATERIALS.
- PROPOSED BUILDINGS SHALL BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 101 AND WITH A FIRE ALARM SYSTEM.
- A FIRE SUPPRESSION SYSTEM WILL BE REQUIRED FOR ALL DISPENSING ISLANDS.
- HOURS OF OPERATION:
24 HOURS, 7 DAYS A WEEK
- CONTRACTOR SHALL MAINTAIN AN EFFECTIVE MEANS OF DUST CONTROL DURING THE CONSTRUCTION PERIOD USING WATER TRUCKS AND SWEEPERS AS DEEMED NECESSARY BY THE TOWN INSPECTOR.
- A PRE-BLAST SURVEY SHALL BE REQUIRED OF ALL FOUNDATIONS AND WELLS WITHIN 500' OF THE PROPOSED BLASTING ACTIVITIES.
- SITE WORK IS ONLY ALLOWED MONDAY - SATURDAY BETWEEN 7 AM AND 5 PM.
- THE PROPERTY HERON DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA (100 YR FLOOD) PER FLOOD INSURANCE RATE MAP ROCKINGHAM COUNTY PANEL 190 OF 681, MAP NUMBER 33015C0190E, EFFECTIVE DATE MAY 17, 2005.
- PROPOSED TRUCK EXIT INTENDED TO PROVIDE FUTURE PRIMARY INGRESS AND EGRESS ACCESS FOR REMAINING UNDEVELOPED ACREAGE OF MAP 22 LOT 9. DRIVEWAY AND OFFSITE GEOMETRY WILL BE MODIFIED AND/OR UPGRADED AS NECESSARY TO ACCOMMODATE THE PROPOSED USES THROUGH FUTURE SITE PLAN APPROVALS.



The Dubai Group, Inc.
84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors

TheDubayGroup.com



| REV. | DATE | COMMENT | BY |
|------|----------|---------------------------------|-----|
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| 2 | 12/3/19 | REVS PER TOWN COMMENTS | DGM |
| 3 | 12/13/19 | REVISIONS TO OFFSITE PLAN | DGM |
| 5 | 4/28/20 | REVS PER AOT & TOWN COMMENTS | JMM |
| 6 | 6/23/20 | REVS PER TANK DESIGN & GC | SJK |
| 7 | 6/24/21 | REVS PER TRUCK PARKING REDESIGN | JHD |
| 8 | 07/15/21 | REVISED LAYOUT | JHD |

DRAWN BY: JHD
CHECKED BY: DGM
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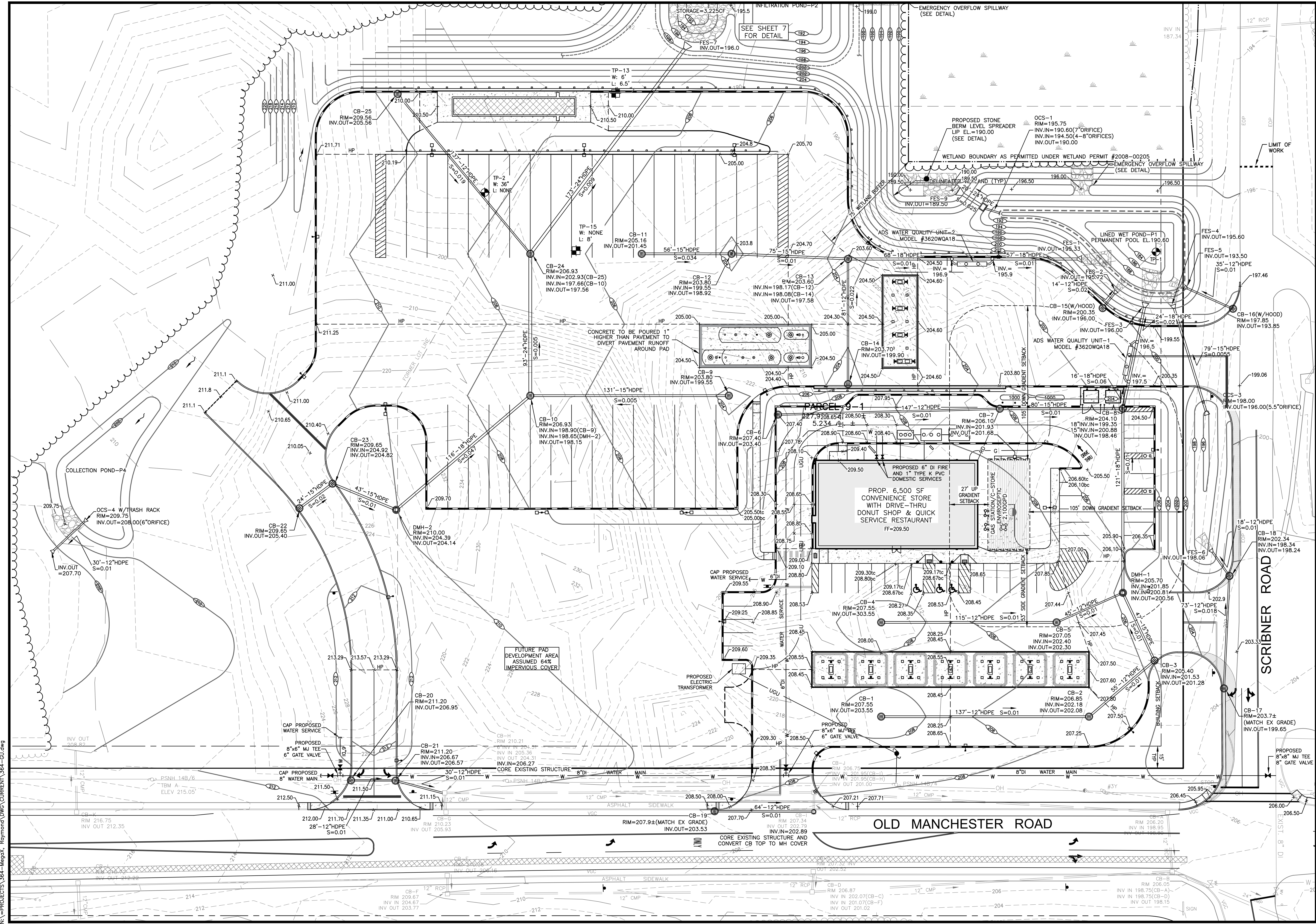
PROJECT:
MEGA-X
MAP 22 LOT 9-1
OLD MANCHESTER ROAD
RAYMOND, NH 03077

OWNER:
NEW SUNSET REALTY, LLC
73 MACINTOSH LANE
BEDFORD, NH 03110

SHEET TITLE:
SITE PLAN

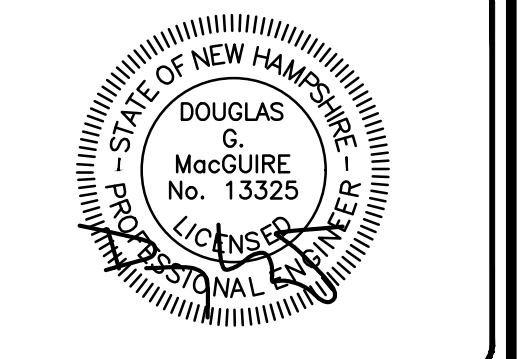
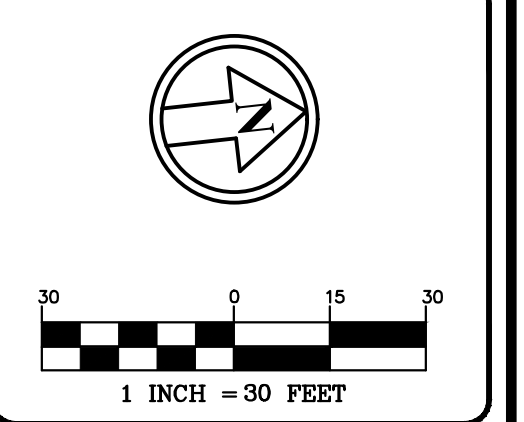
PROJECT #364 SHEET 5 of 21

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| REV. | DATE | REVISIONS: | BY: |
|------|----------|------------------------------|-----|
| 1 | 11/19/19 | REVS PER TOWN COMMENTS | SJK |
| 2 | 12/6/19 | REVS PER TOWN COMMENTS | SJK |
| 3 | 12/13/19 | REVISIONS TO OFFSITE PLAN | DGM |
| 4 | 3/23/20 | REVISIONS PER AOT COMMENTS | JMM |
| 5 | 4/28/20 | REVS PER AOT & TOWN COMMENTS | JMM |
| 6 | 6/23/20 | REVS PER TANK DESIGN & GC | SJK |
| 7 | 11/4/20 | REVISED WATER LINE | JMM |
| 8 | 07/15/21 | REVISED LAYOUT | JHD |
| 9 | 09/3/21 | REVISED PER TOWN COMMENTS | JHD |

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 DEED REF: -



MAP 22 LOT 9-1
 OLD MANCHESTER ROAD
 RAYMOND, NH 03077

OWNER
NEW SUNSET REALTY, LLC
 73 MACINTOSH LANE
 BEDFORD, NH 03110

SHEET TITLE:
**GRADING,
 DRAINAGE &
 UTILITY
 PLAN - A**

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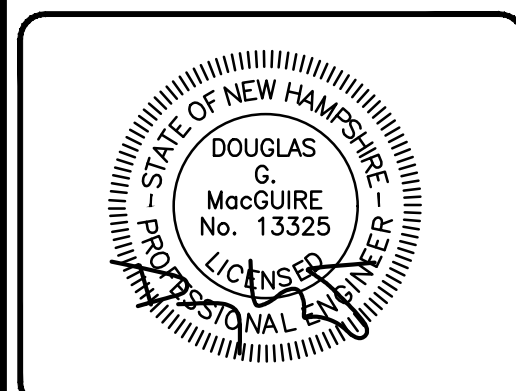
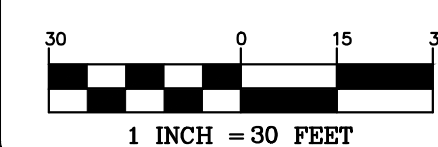
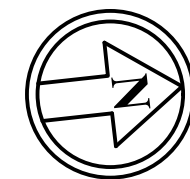


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PROJECT:

MEGA-X

MAP 22 LOT 9-1
OLD MANCHESTER ROAD
RAYMOND, NH 03077

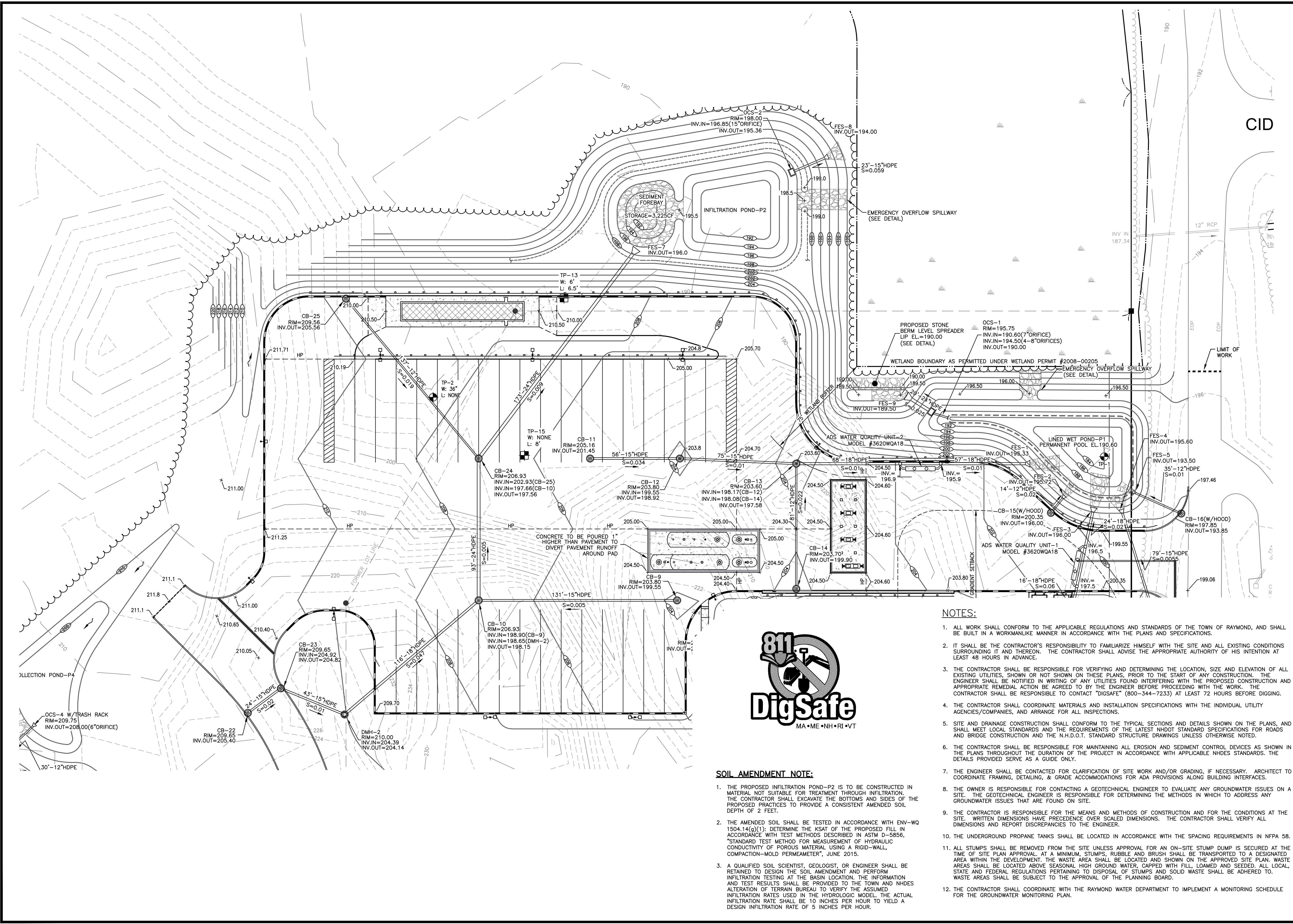
OWNER:

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SHEET TITLE:

**GRADING,
DRAINAGE &
UTILITY
PLAN - B**

PROJECT #364 SHEET 7 of 21



NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF RAYMOND, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS INTENTION AT LEAST 48 HOURS IN ADVANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (800-344-7233) AT LEAST 72 HOURS BEFORE DIGGING.
- THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
- SITE AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE N.H.D.O.T. STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN IN THE PLANS THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE NHDES STANDARDS. THE DETAILS PROVIDED SERVE AS A GUIDE ONLY.
- THE ENGINEER SHALL BE CONTACTED FOR CLARIFICATION OF SITE WORK AND/OR GRADING, IF NECESSARY. ARCHITECT TO COORDINATE FRAMING, DETAILING, & GRADE ACCOMMODATIONS FOR ADA PROVISIONS ALONG BUILDING INTERFACES.
- THE OWNER IS RESPONSIBLE FOR CONTACTING A GEOTECHNICAL ENGINEER TO EVALUATE ANY GROUNDWATER ISSUES ON A SITE. THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR DETERMINING THE METHODS IN WHICH TO ADDRESS ANY GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
- THE UNDERGROUND PROPANE TANKS SHALL BE LOCATED IN ACCORDANCE WITH THE SPACING REQUIREMENTS IN NFPA 58.
- ALL STUMPS SHALL BE REMOVED FROM THE SITE UNLESS APPROVAL FOR AN ON-SITE STUMP DUMP IS SECURED AT THE TIME OF SITE PLAN APPROVAL. AT A MINIMUM, STUMPS, RUBBLE AND BRUSH SHALL BE TRANSPORTED TO A DESIGNATED AREA WITHIN THE DEVELOPMENT. THE WASTE AREA SHALL BE LOCATED AND SHOWN ON THE APPROVED SITE PLAN. WASTE AREAS SHALL BE LOCATED ABOVE SEASONAL HIGH GROUND WATER, CAPPED WITH FILL, LOAMED AND SEEDED. ALL LOCAL, STATE AND FEDERAL REGULATIONS PERTAINING TO DISPOSAL OF STUMPS AND SOLID WASTE SHALL BE ADHERED TO. WASTE AREAS SHALL BE SUBJECT TO THE APPROVAL OF THE PLANNING BOARD.
- THE CONTRACTOR SHALL COORDINATE WITH THE RAYMOND WATER DEPARTMENT TO IMPLEMENT A MONITORING SCHEDULE FOR THE GROUNDWATER MONITORING PLAN.

SOIL AMENDMENT NOTE:

- THE PROPOSED INFILTRATION POND-P2 IS TO BE CONSTRUCTED IN MATERIAL NOT SUITABLE FOR TREATMENT THROUGH INFILTRATION. THE CONTRACTOR SHALL EXCAVATE THE BOTTOMS AND SIDES OF THE PROPOSED PRACTICES TO PROVIDE A CONSISTENT AMENDED SOIL DEPTH OF 2 FEET.
- THE AMENDED SOIL SHALL BE TESTED IN ACCORDANCE WITH ENV-WQ 1504.14(g)(1): DETERMINE THE KSAT OF THE PROPOSED FILL IN ACCORDANCE WITH TEST METHODS DESCRIBED IN ASTM D-5856. *STANDARD TEST METHOD FOR MEASUREMENT OF HYDRAULIC CONDUCTIVITY OF POROUS MATERIAL USING A RIGID-WALL, COMPACTION-MOLD PERMEAMETER*, JUNE 2015.
- A QUALIFIED SOIL SCIENTIST, GEOLOGIST, OR ENGINEER SHALL BE RETAINED TO DESIGN THE SOIL AMENDMENT AND PERFORM INFILTRATION TESTING AT THE BASIN LOCATION. THE INFORMATION AND TEST RESULTS SHALL BE PROVIDED TO THE TOWN AND NHDES ALTERATION OF TERRAIN BUREAU TO VERIFY THE ASSUMED INFILTRATION RATES USED IN THE HYDROLOGIC MODEL. THE ACTUAL INFILTRATION RATE SHALL BE 10 INCHES PER HOUR TO YIELD A DESIGN INFILTRATION RATE OF 5 INCHES PER HOUR.



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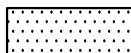






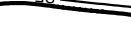
ENVIRONMENTAL MONITORING NOTES:

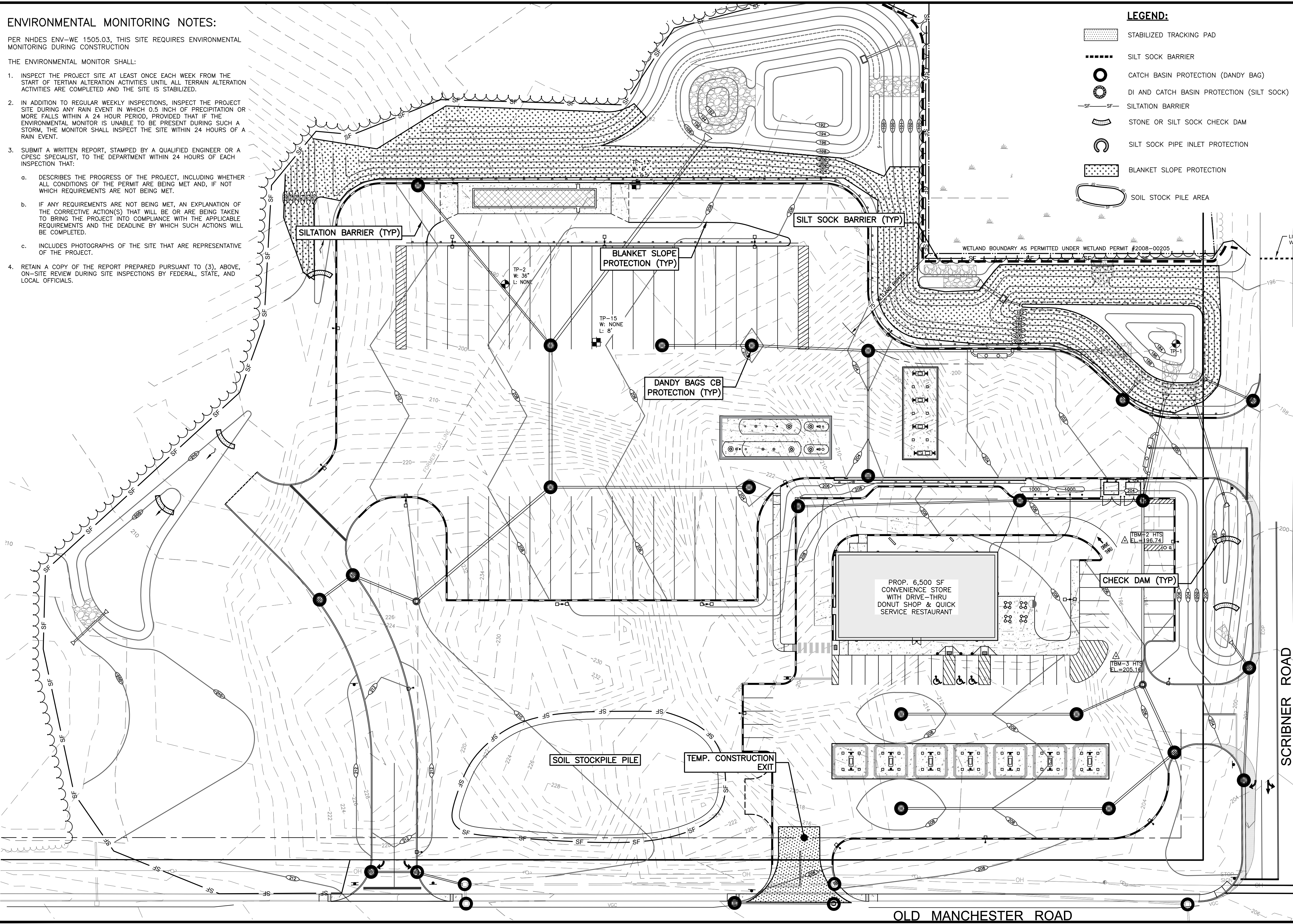
PER NHDES ENV-WE 1505.03, THIS SITE REQUIRES ENVIRONMENTAL MONITORING DURING CONSTRUCTION

THE ENVIRONMENTAL MONITOR SHALL:

1. INSPECT THE PROJECT SITE AT LEAST ONCE EACH WEEK FROM THE START OF TERTIAN ALTERATION ACTIVITIES UNTIL ALL TERRAIN ALTERATION ACTIVITIES ARE COMPLETED AND THE SITE IS STABILIZED.
2. IN ADDITION TO REGULAR WEEKLY INSPECTIONS, INSPECT THE PROJECT SITE DURING ANY RAIN EVENT IN WHICH 0.5 INCH OF PRECIPITATION OR MORE FALLS WITHIN A 24 HOUR PERIOD, PROVIDED THAT IF THE ENVIRONMENTAL MONITOR IS UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF A RAIN EVENT.
3. SUBMIT A WRITTEN REPORT, STAMPED BY A QUALIFIED ENGINEER OR A CPESC SPECIALIST, TO THE DEPARTMENT WITHIN 24 HOURS OF EACH INSPECTION THAT:
 - a. DESCRIBES THE PROGRESS OF THE PROJECT, INCLUDING WHETHER ALL CONDITIONS OF THE PERMIT ARE BEING MET AND, IF NOT WHICH REQUIREMENTS ARE NOT BEING MET.
 - b. IF ANY REQUIREMENTS ARE NOT BEING MET, AN EXPLANATION OF THE CORRECTIVE ACTION(S) THAT WILL BE OR ARE BEING TAKEN TO BRING THE PROJECT INTO COMPLIANCE WITH THE APPLICABLE REQUIREMENTS AND THE DEADLINE BY WHICH SUCH ACTIONS WILL BE COMPLETED.
 - c. INCLUDES PHOTOGRAPHS OF THE SITE THAT ARE REPRESENTATIVE OF THE PROJECT.
4. RETAIN A COPY OF THE REPORT PREPARED PURSUANT TO (3), ABOVE, ON-SITE REVIEW DURING SITE INSPECTIONS BY FEDERAL, STATE, AND LOCAL OFFICIALS.

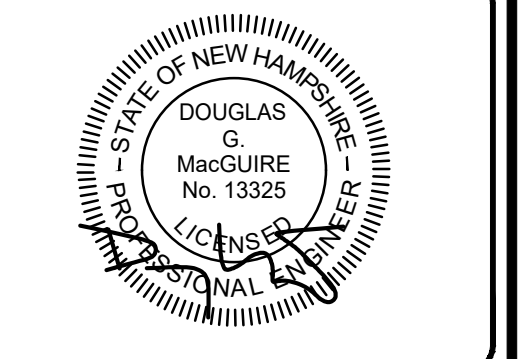
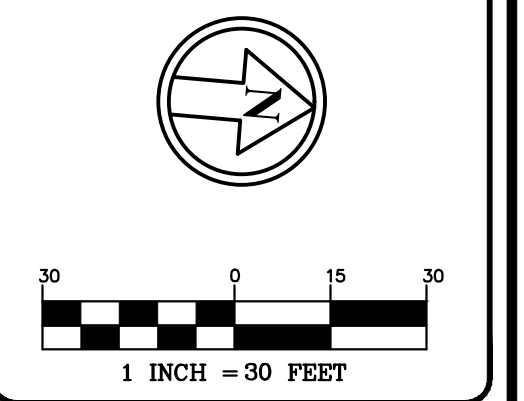
LEGEND:

-  STABILIZED TRACKING PAD
-  SILT SOCK BARRIER
-  CATCH BASIN PROTECTION (DANDY BAG)
-  DI AND CATCH BASIN PROTECTION (SILT SOCK)
-  SILTATION BARRIER
-  STONE OR SILT SOCK CHECK DAM
-  SILT SOCK PIPE INLET PROTECTION
-  BLANKET SLOPE PROTECTION
-  SOIL STOCK PILE AREA



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| 9 | 09/3/21 | REVISED PER TOWN COMMENTS | JHD |

DRAWN BY: WA
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SCALE: 1"=30'
FILE: 364-EROSION
DEED REF: -

PROJECT:
MEGA-X

MAP 22 LOT 9-1
OLD MANCHESTER ROAD
RAYMOND, NH 03077
OWNER

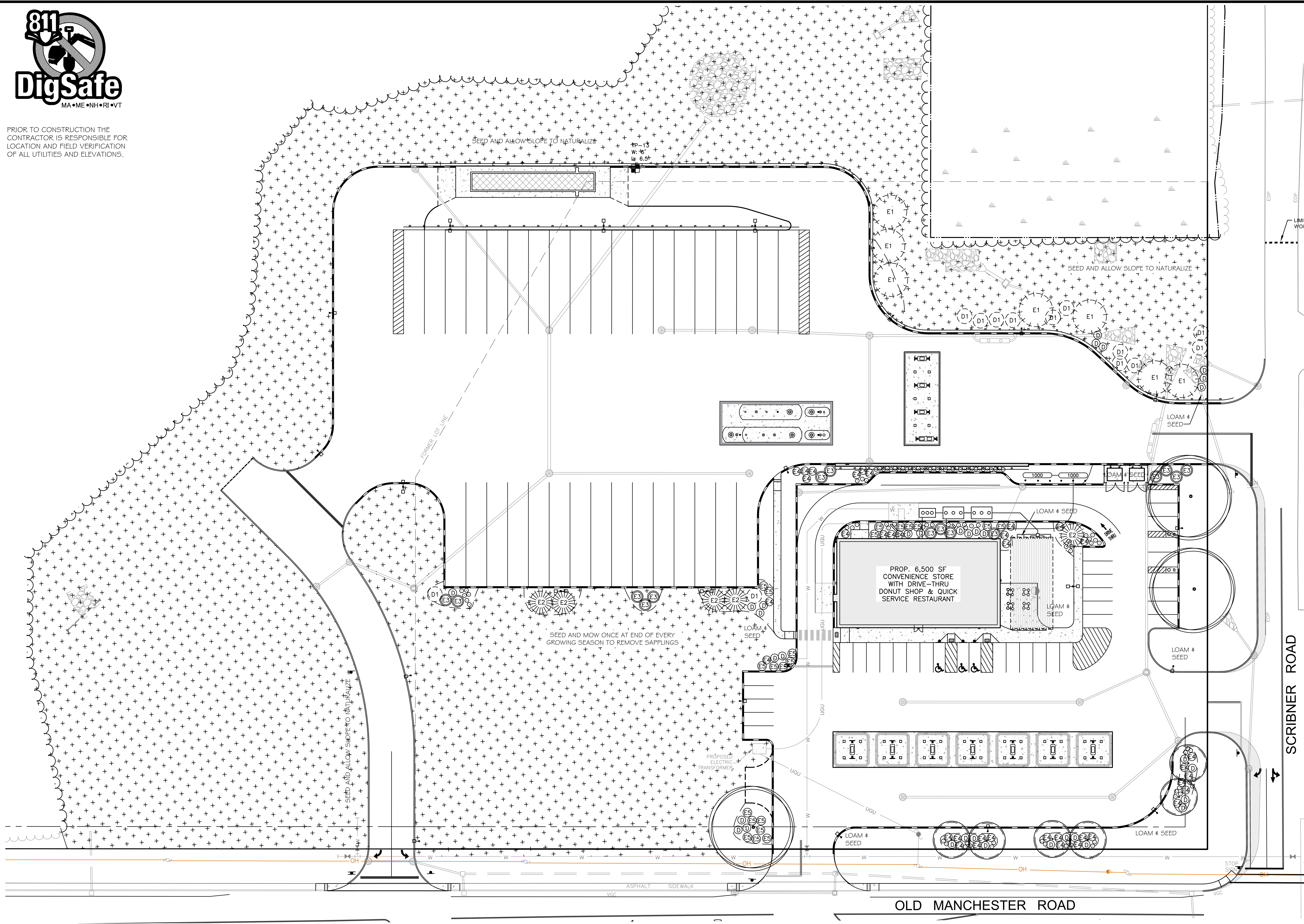
NEW SUNSET REALTY, LLC
73 MACINTOSH LANE
BEDFORD, NH 03110

SHEET TITLE:
EROSION CONTROL PLAN

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PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR LOCATION AND FIELD VERIFICATION OF ALL UTILITIES AND ELEVATIONS.



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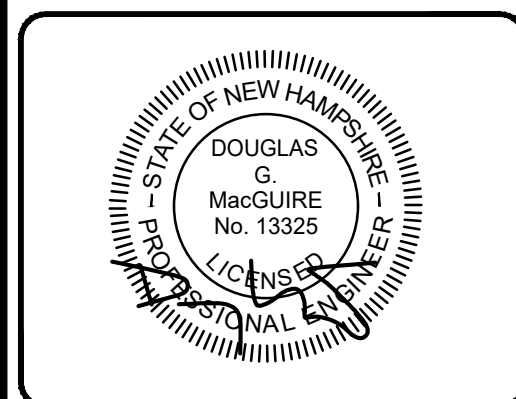
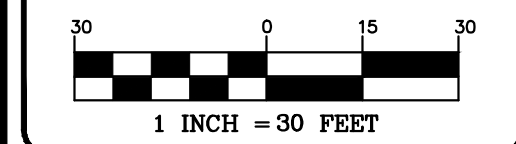
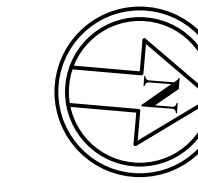
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| REV. | DATE | COMMENT | BY |
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| 8 | 07/15/21 | REVISED LAYOUT | JHD |

DRAWN BY: WA
CHECKED BY: RK
DATE: AUG. 21, 2019
SCALE: 1"=30'
FILE: 364-LANDSCAPING
DEED REF: -

PROJECT:

MEGA-X

MAP 22 LOT 9-1

OLD MANCHESTER ROAD
RAYMOND, NH 03077

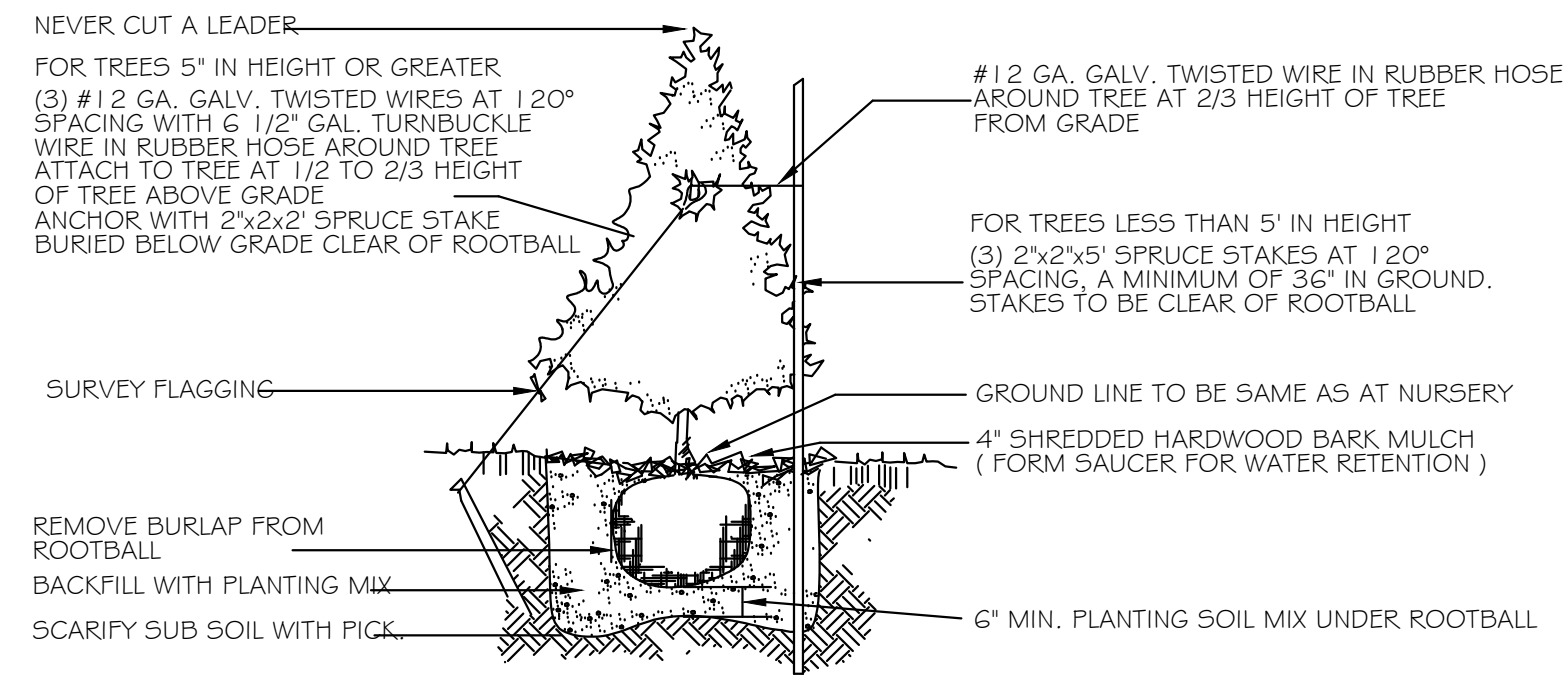
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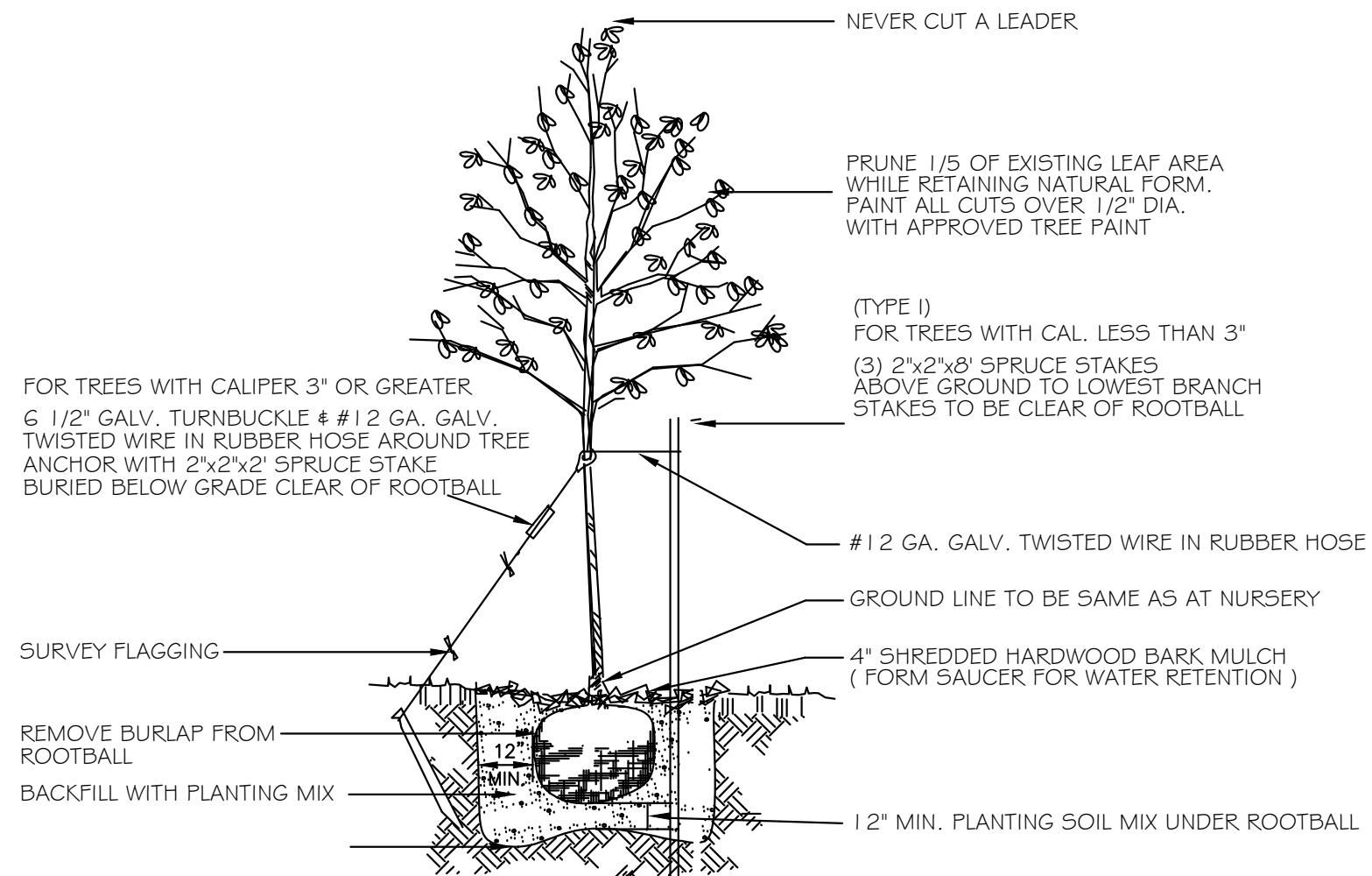
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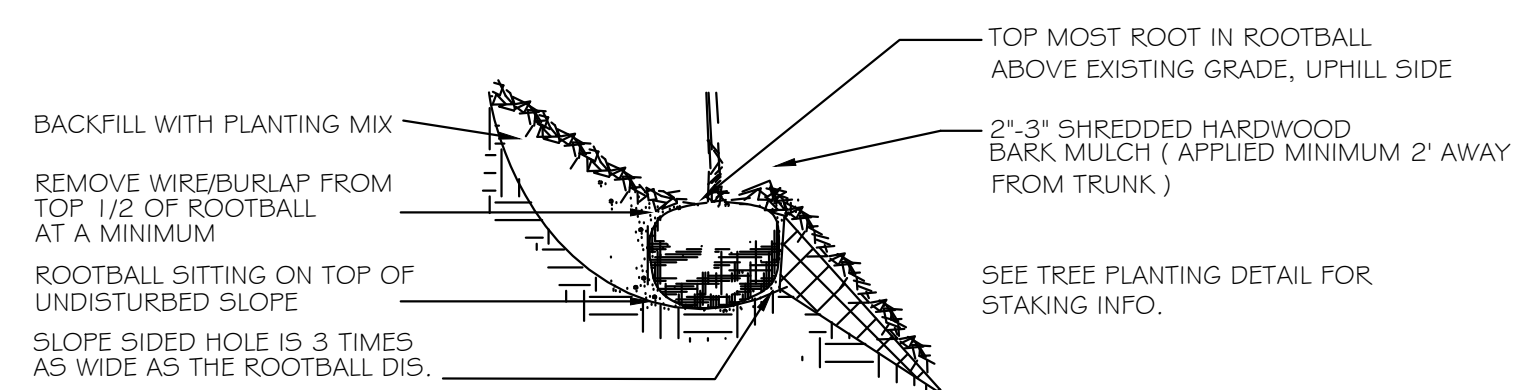
PROJECT #364 SHEET 9 of 21



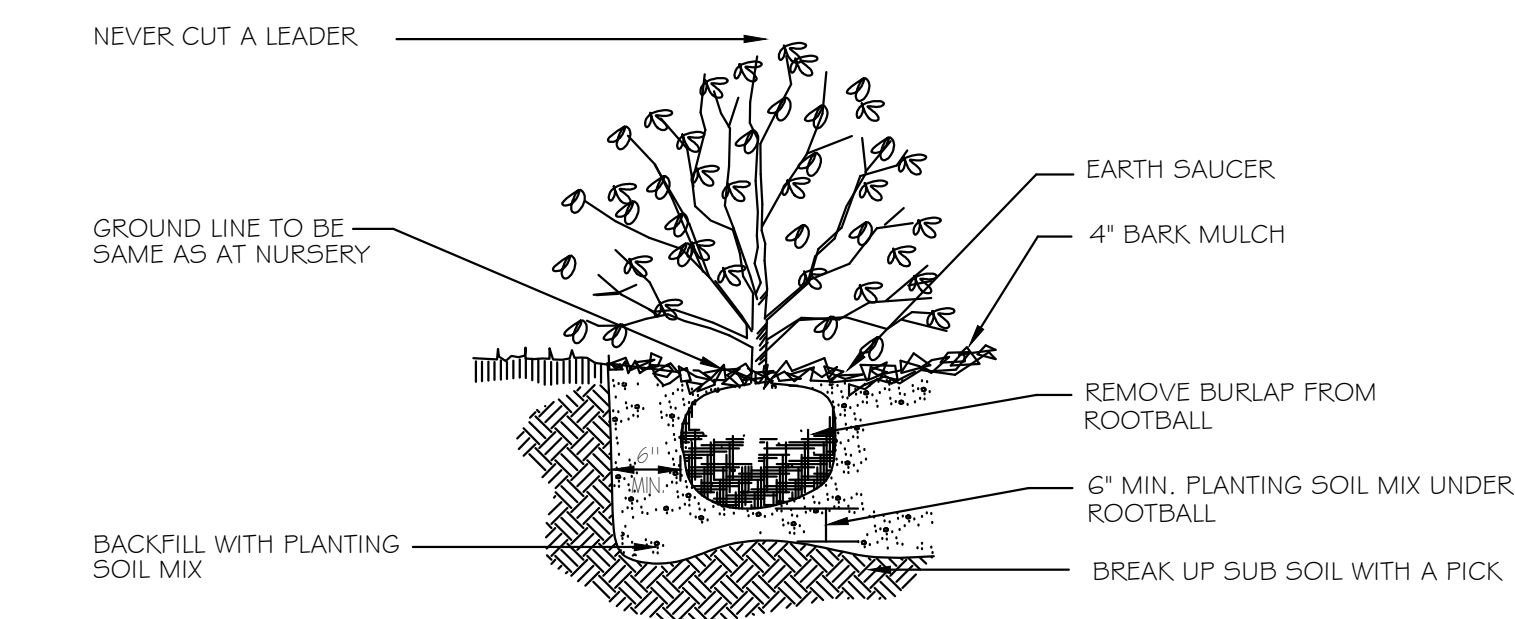
EVERGREEN PLANTING DETAIL



DECIDUOUS TREE PLANTING DETAIL



SLOPE PLANTING DETAIL



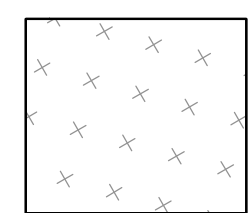
SHRUB PLANTING DETAIL

LANDSCAPE NOTES:

- PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING AND NEWLY INSTALLED UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS.
- WHEREVER POSSIBLE EXISTING TREES SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION. DISTURBED SIDE SLOPES SHALL BE ALLOWED TO NATURALLY VEGETATE TO SUSTAIN EXISTING WILDLIFE AND PLANT LIFE.
- THE PROPOSED DECIDUOUS TREES SHALL BE A MIN. 2.5" CALIPER WITH EVERGREENS AT 6' HT.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED WITH A MINIMUM OF 6" SUITABLE LOAM, EXCEPT UNDER THE MULCH BEDS. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. (SEE PLANS BY ENGINEER)
- PLANTS SHALL NOT BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA OF THE PLANTING.
- ALL TREES SHALL BE BALLED AND BURLAP UNLESS OTHERWISE NOTED.
- ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE, THE TOWN OF RAYMOND AND THE LANDSCAPE ARCHITECT.
- WHERE APPLICABLE THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- INSOFAR AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI 260 (REV. 1996) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH 'WILT-PRUF' OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
- NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
- SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
- NO SOIL CONTAINING ANY LIVING OR VIABLE PORTION OF PLANTS ON THE NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST (AGR. TABLE 3800) SHALL BE TRANSPORTED TO OR FROM CONSTRUCTION SITES WITHOUT NOTIFICATION AND APPROVAL FROM THE NEW HAMPSHIRE DEPT. OF AGRICULTURE PER RSA 430:55.

LANDSCAPE LEGEND:

| BOTONICAL NAME / COMMON NAME | SIZE # | REMARKS | MATURE HT. | MATURE WIDTH |
|---|--------|----------|------------|--------------|
| 3 DECIDUOUS SHADE TREE ACER FREMANII 'AUTUMN BLAZE' / AUTUMN BLAZE MAPLE ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE ACER SACCHARUM 'LEGACY' / LEGACY SUGAR MAPLE ACER SACCHARUM 'COMMEMORATION' / COMMEMORATION SUGAR MAPLE QUERCUS COCCINEA / SCALET OAK QUERCUS PALUSTRIS / PIN OAK | 2.5" | CAL. B4B | 40'-60' | 30'-40' |
| 6 DECIDUOUS TREE CERCIS CANADENSIS / EASTERN REDBUD CORNUS FLORIDA RUBRA / PINK FLOWERING DOGWOOD FRUNUS SUBHIRTTELLA 'AUTUMNALIS' / AUTUMN FLOWERING CHERRY | 2.5" | CAL. B4B | 20'-30' | 20'-30' |
| 7 LARGE EVERGREEN TREE ABIES FRASERI / FRASER FIR PICEA PUNGENS 'GLAUCA' / COLORADO BLUE SPRUCE PINUS STROBUS / EASTERN WHITE PINE | 6" | HT. B4B | 30'-40' | 20'-30' |
| 5 NARROW EVERGREEN ABIES CONCOLOR / WHITE FIR PICEA PUNGENS 'BABY BLUE' / BABY BLUE SPRUCE | 6" | HT. B4B | 30'-40' | 15'-20' |
| 15 EVERGREEN SHRUB / DWARF CHAMAECYPARIS OBTUSA 'FERNSPRAY GOLD' / GOLD HINOKI FALSECYPRESS ILEX MESERVEAE 'BLUE PRINCE' / BLUE PRINCE HOLLY JUNIPERUS CHINENSIS 'BLUE POINT' / BLUE POINT JUNIPER J. VIRGINIANA 'EMERALD SENTINEL' / EMERALD SENTINEL EASTERN RED CEDAR PICEA PUNGENS BAKERII / BAKER BLUE SPRUCE | 4" | HT. B4B | 10'-15' | 8'-10' |
| 36 EVERGREEN SHRUB MEDIUM ILEX CRENATA 'HETZII' / HETZ JAPANESE HOLLY JUNIPERUS CHINENSIS 'ARMSTRONG AUREA' / OLD GOLD JUNIPER JUNIPERUS CHINENSIS 'GOLD STAR' / GOLD STAR JUNIPER JUNIPERUS VIRGINIANA 'GREY OWL' / GREY OWL JUNIPER J. CHINENSIS 'PFITZERIANA COMPACTA' / COMPACT PFITZER JUNIPER JUNIPERUS CHINENSIS 'SEAGREEN' / SEAGREEN JUNIPER LEUCOTHOE FONTANESIANA 'GIRARD'S RAINBOW/GIRARD'S RAINBOW LEUCOTHOE PIERIS 'BROUWERS BEAUTY' / BROUWERS BEAUTY ANDROMEDA TAXUS MEDIA 'GREENWAVE' / GREENWAVE SPREADING YEW TAXUS MEDI 'TAUNTONII' / TAUNTONI YEW | 30" | B4B | 3'-4' | 3'-4' |
| 21 EVERGREEN GROUND COVER JUNIPERUS CHINENSIS 'SARGENTI' / GREEN SARGENT JUNIPER JUNIPERUS HORIZONTALIS 'BAR HARBOR' / BAR HARBOR JUNIPER LEUCOTHOE FONTANESIANA 'COMPACTA' / COMPACT DROOPING LEUCOTHOE TAXUS MEDIA 'EVER-LOW' / EVER-LOW YEW | 5 GAL. | | 12"-24" | 8'-10' |
| 12 DECIDUOUS SHRUB LARGE CORNUS RACEMOSA / GREY DOGWOOD HYDRANGEA QUERCIFILIA 'ALICE' / ALICE OAKLEAF HYDRANGEA SYRING VULGARIS / COMMON PURPLE LILAC VIBURNUM TRILOBUM / AMERICAN CRANBERRY VIBURNUM VIBURNUM DENTANUM / ARROWWOOD VIBURNUM VIBURNUM P.T. 'MARIESII' / MARIE'S DOUBLEFILE VIBURNUM | 4" | HT. B4B | 10'-15' | 10'-15' |
| 33 DECIDUOUS SHRUB SMALL ILEX VERTICILLATA 'RED SPRITE' / RED SPRITE WINTERBERRY ITEA VIRGINICA 'LITTLE HENRY' / LITTLE HENRY SWEETSPIRE POTENTILLA FRUTICOSA 'ABBOTSWOOD' / ABBOTSWOOD POTENTILLA POTENTILLA FRUTICOSA 'PINK BEAUTY' / PINK BEAUTY POTENTILLA POTENTILLA PARVIFOLIA 'GOLD DROP' / GOLD DROP POTENTILLA RHUS AROMATICA 'GROW LOW' / GROW LOW SUMAC SPIRAEA BUMALDA 'GOLDFLAME' / GOLDFLAME SPIREA SPIRAEA JAPONICA 'GOLDMOUND' / GOLDMOUND SPIREA SPIRAEA JAPONICA 'LEMON PRINCESS' / LEMON PRINCESS SPIREA SPIRAEA JAPONICA 'LITTLE PRINCESS' / LITTLE PRINCESS SPIREA SPIRAEA JAPONICA 'MAGIC CARPET' / MAGIC CARPET SPIREA SYRINGA 'BLOOMERANG' / BLOOMERANG LILAC WEIGELA FLORIDA 'FINE WINE' / FINE WINE WEIGELA WEIGELA FLORIDA 'MIDNIGHT WINE' / MIDNIGHT WINE WEIGELA WEIGELA FLORIDA 'VARIEGATA' / DWARF VARIEGATED WEIGELA | 3 GAL. | | 3'-4' | 3'-4' |
| 92 PERENNIALS AND OR PERENNIAL GRASSES | | | | |



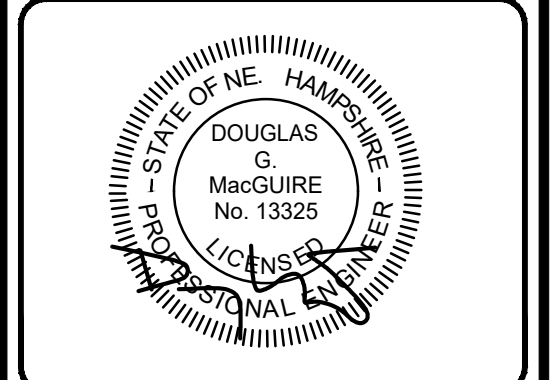
SIDE SLOPE AREAS TO BE SEEDED WITH ERNST SEED - MEADOW MIX (OR EQUIVALENT) - 20 LB PER ACRE, OR 1/2 LB PER 1,000 SQ FT. ALLOW TO NATURALIZE



The Dubai Group, Inc.
84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors

TheDubayGroup.com



| REVISIONS: | | | |
|------------|----------|------------------------|-----|
| REV. | DATE | COMMENT | BY: |
| 1 | 11/19/19 | REVS PER TOWN COMMENTS | SJK |
| 8 | 07/15/21 | REVISED LAYOUT | JHD |

DRAWN BY: WA
CHECKED BY: RK
DATE: AUG. 21, 2019
SCALE: NONE
FILE: 364-LANDSCAPING
DEED REF: -

PROJECT:
MEGA-X
MAP 22 LOT 9-1
OLD MANCHESTER ROAD
RAYMOND, NH 03077

OWNER:
NEW SUNSET REALTY, LLC
73 MACINTOSH LANE
BEDFORD, NH 03110

SHEET TITLE:
**LANDSCAPING
DETAILS**

PROJECT #364 SHEET 10 of 21



PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR LOCATION AND FIELD VERIFICATION OF ALL UTILITIES AND ELEVATIONS.

Catalog # : _____ Project : _____
 Prepared By : _____ Date : _____



**Mirada Wall Sconce - XWM
Outdoor LED Wall Sconce**

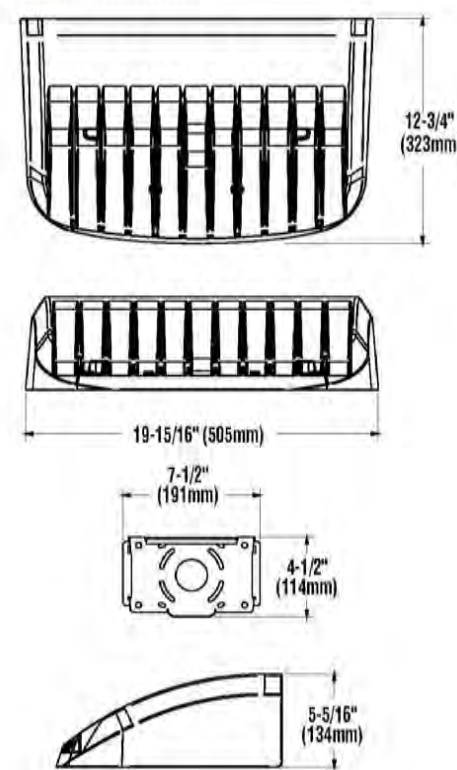
The XWM's sleek design makes it perfectly suited for architectural & commercial applications, while its cost-effective die-cast aluminum housing makes its acquisition cost very competitive. The XWM offers high performance silicone optics, 4 standard CCTs, 5 lumen packages, and is available with Integral Airlink™ Wireless Controls.

Features & Specifications

- Optical System**
- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP65 rated sealed optical chamber in 1 component.
 - Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, and Forward Throw (FT).
 - Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
 - Zero glare.
 - Available in 5000K, 4000K, 3000K, and 2700K color temperatures per ANSI C78.377.
 - Minimum CRI of 70.
- Electrical**
- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
 - 0-10V dimming (10% - 100%) standard.
 - Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
 - L80 Calculated Life: >100K Hours (See Lumen Maintenance on Page 2)
 - Total harmonic distortion: <20%
 - Operating temperature: -40°C to +50°C (-40°F to +122°F).
 - Power factor > .90
 - Input power stays constant over life.
 - Field replaceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
 - High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation.
 - Terminal block provided accepts up to 10ga wire.
 - Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed via hinged door.
 - Optional 120v-277v integral emergency battery pack is available. The 30-minute batteries provide constant power to the LED system, ensuring code compliance. A test switch/indicator button is installed on the housing for ease of maintenance. Operating temperature for standard battery back-up: -20°C to +50°C (-4°F to +122°F). Cold Weather battery back-up: -20°C to +50°C (-4°F to +122°F).



Product Dimensions



LSI Industries Inc. 5000 Alliance Rd. Cincinnati, OH 45242 • www.lsiindustries.com • (513) 312-3300 • LSI Industries Inc. All Rights Reserved.

LED SURFACE MOUNT - LEGACY™ (CRUS SM)



US & Int'l. patents pending.

HOUSING - One-piece, die-formed, aluminum housing with powder coated finish. One conduit knockout and four mounting holes. 2x2 housing is formed from zinc-coated steel.

LEDS - Features an array of select, mid-power, high brightness, high efficiency LED chips; 5000K color temperature, 70 CRI.

DRIVE CURRENT - Choice of Very Low Wattage (VLW), Low Wattage (LW), Super Saver (SS), High Output (HO) or Very High Output (VHO).

OPTICS / DISTRIBUTION - Symmetrical, which directs light through a glass lens to provide a uniform distribution of light to vertical and horizontal surfaces.

OPTICAL LENS - Features an ultra-slim 7/8" profile die cast housing, with a standard flat clear or diffused glass lens. Unit is water-resistant, sealed to an IP67 rating. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.

PRESSURE STABILIZING VENT - Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

DRIVER - State-of-the-art driver technology superior energy-efficiency and optimum light output. Driver components are fully encased in potting for moisture resistance. Complies with IEC and FCC standards. 0-10 V dimming supplied standard with all drive currents.

ADAPTOR PANEL - Die formed galvanized steel, with powder coat finish.

OPERATING TEMPERATURE - -40°C to 50°C (-40°F to +122°F)

ELECTRICAL - Universal voltage power supply, 120-277 VAC, 50/60 HZ input. Drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Scenario 1, Location Category C.

FINISH - Standard color is white and is finished with LSI's DuraGrip polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.

INSTALLATION - Pre-assembled optical unit and mounting panel attaches to fixture housing via 4 fasteners. Driver is pre-mounted to back of optical assembly.

SHIPPING WEIGHT - 35 pounds.

EXPECTED LIFE - Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

WARRANTY - Limited 5-year warranty.

PHOTOMETRICS - Applications layouts are available upon request. Contact LSI Petroleum Lighting or petroleum.apps@lsi-industries.com

LISTING - UL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations. For a list of the specific products in the series that are DLC listed, please consult the LED Lighting section of our website or the Design Lights website at www.designlights.org.

This product, or selected versions of this product, meet the standards listed below. Please consult factory for year specific requirements.



LED SURFACE MOUNT - LEGACY™ (CRUS SM)

LUMINAIRE ORDERING INFORMATION

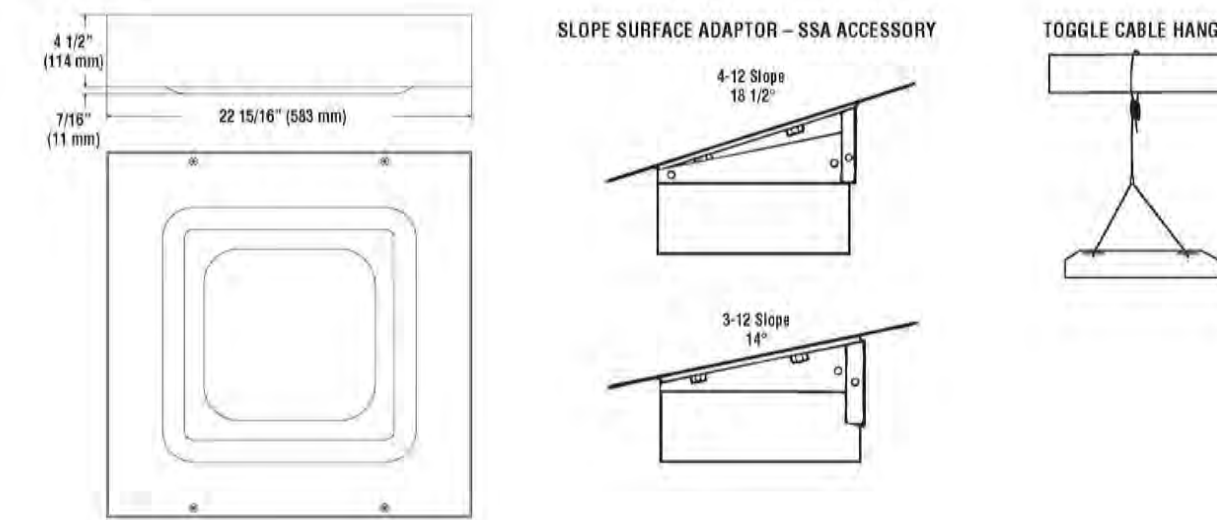
TYPICAL ORDER EXAMPLE: **CRUS SM SC LED VHO 50 UE WHT**

| Prefix | Distribution | Light Source | Drive Current | Color Temperature | Input Voltage | Finish | Options |
|-------------------------|------------------|--------------|--|-------------------|---|--|---------------------|
| CRUS SM (Surface Mount) | SC - Symmetrical | LED | VLW - Very Low Watt LW - Low Watt SS - Super Saver HO - High Output VHO - Very High Output | 50 - 5000K | UE - Universal Voltage (120-277V) 347-480 Volt | WHT - White BZC - Bronze BLK - Black | DFL - Diffused Lens |

ACCESSORY ORDERING INFORMATION

| Description | Order Number |
|---------------------------|--------------|
| SSA Slope Surface Adaptor | 52182 CLR |
| 2x2 Slopper Housing Only | 54537R |
| 10' Toggle Cable Hanger | 12913 |

DIMENSIONS



LIGHT OUTPUT - CRUS SM

| Color White | | SC Lumens | | Watts | | SC LPW | |
|-------------|------------------------|-----------|-------|-------|-----|--------|--|
| | | SCM | AC | SCM | AC | | |
| | VLW - Very Low Watt | 9935 | 7532 | 31 | 149 | 125 | |
| | LW - Low Watt | 12525 | 8984 | 74 | 142 | 120 | |
| | SS - Super Saver | 15974 | 11096 | 59 | 140 | 118 | |
| | HO - High Output | 18833 | 15145 | 132 | 141 | 116 | |
| | VHO - Very High Output | 22418 | 17282 | 159 | 141 | 109 | |

Project Name _____ Fixture Type _____ 6/6/17
 Catalog # _____ LSI INDUSTRIES INC.

Project Name _____ Fixture Type _____ 6/6/17
 Catalog # _____ LSI INDUSTRIES INC.



**Mirada Wall Sconce - XWM
Outdoor LED Wall Sconce**

Performance (Cont.)

DELIVERED LUMENS*

| Lumen Package | Distribution | CRI | 2700K | | 3000K | | 4000K | | 5000K | | Wattage | | | | |
|---------------|--------------|-----|------------------|------------|------------|------------------|------------|------------|------------------|------------|----------|------------|-----|----------|-------|
| | | | Delivered Lumens | Efficiency | BUS Rating | Delivered Lumens | Efficiency | BUS Rating | Delivered Lumens | Efficiency | | BUS Rating | | | |
| 03L | 2 | 70 | 2713 | 120 | 81-U0-G1 | 2822 | 125 | 81-U0-G1 | 3088 | 137 | 81-U0-G1 | 3088 | 137 | 81-U0-G1 | 22.6 |
| | 3 | 70 | 2752 | 122 | 81-U0-G1 | 2873 | 127 | 81-U0-G1 | 3144 | 139 | 81-U0-G1 | 3144 | 139 | 81-U0-G1 | |
| | FT | 70 | 2719 | 120 | 81-U0-G1 | 2838 | 126 | 81-U0-G1 | 3105 | 137 | 81-U0-G1 | 3105 | 137 | 81-U0-G1 | |
| 04L | 2 | 70 | 3546 | 129 | 81-U0-G1 | 3702 | 125 | 81-U0-G1 | 4051 | 137 | 81-U0-G1 | 4051 | 137 | 81-U0-G1 | 29.5 |
| | 3 | 70 | 3619 | 122 | 81-U0-G1 | 3769 | 128 | 81-U0-G1 | 4124 | 140 | 81-U0-G1 | 4124 | 140 | 81-U0-G1 | |
| | FT | 70 | 3565 | 121 | 81-U0-G1 | 3722 | 126 | 81-U0-G1 | 4073 | 138 | 81-U0-G1 | 4073 | 138 | 81-U0-G1 | |
| 06L | 2 | 70 | 5274 | 118 | 82-U0-G1 | 5556 | 123 | 82-U0-G2 | 6025 | 135 | 82-U0-G2 | 6025 | 135 | 82-U0-G2 | 44.7 |
| | 3 | 70 | 5369 | 120 | 81-U0-G1 | 5656 | 125 | 81-U0-G1 | 6134 | 137 | 81-U0-G2 | 6134 | 137 | 81-U0-G2 | |
| | FT | 70 | 5303 | 119 | 81-U0-G2 | 5636 | 124 | 81-U0-G2 | 6088 | 136 | 81-U0-G2 | 6088 | 136 | 81-U0-G2 | |
| 08L | 2 | 70 | 6996 | 113 | 82-U0-G2 | 7394 | 118 | 82-U0-G2 | 7993 | 129 | 82-U0-G2 | 7993 | 129 | 82-U0-G2 | 62.0 |
| | 3 | 70 | 7123 | 115 | 81-U0-G2 | 7437 | 120 | 81-U0-G2 | 8138 | 131 | 82-U0-G2 | 8138 | 131 | 82-U0-G2 | |
| | FT | 70 | 7035 | 113 | 81-U0-G2 | 7345 | 118 | 82-U0-G2 | 8037 | 130 | 82-U0-G2 | 8037 | 130 | 82-U0-G2 | |
| 12L | 2 | 70 | 10516 | 103 | 82-U0-G2 | 10979 | 107 | 82-U0-G3 | 12014 | 118 | 83-U0-G3 | 12014 | 118 | 83-U0-G3 | 102.2 |
| | 3 | 70 | 10707 | 106 | 82-U0-G2 | 11178 | 109 | 82-U0-G2 | 12252 | 120 | 82-U0-G2 | 12252 | 120 | 82-U0-G2 | |
| | FT | 70 | 10574 | 103 | 82-U0-G3 | 11040 | 108 | 82-U0-G3 | 12080 | 118 | 82-U0-G3 | 12080 | 118 | 82-U0-G3 | |

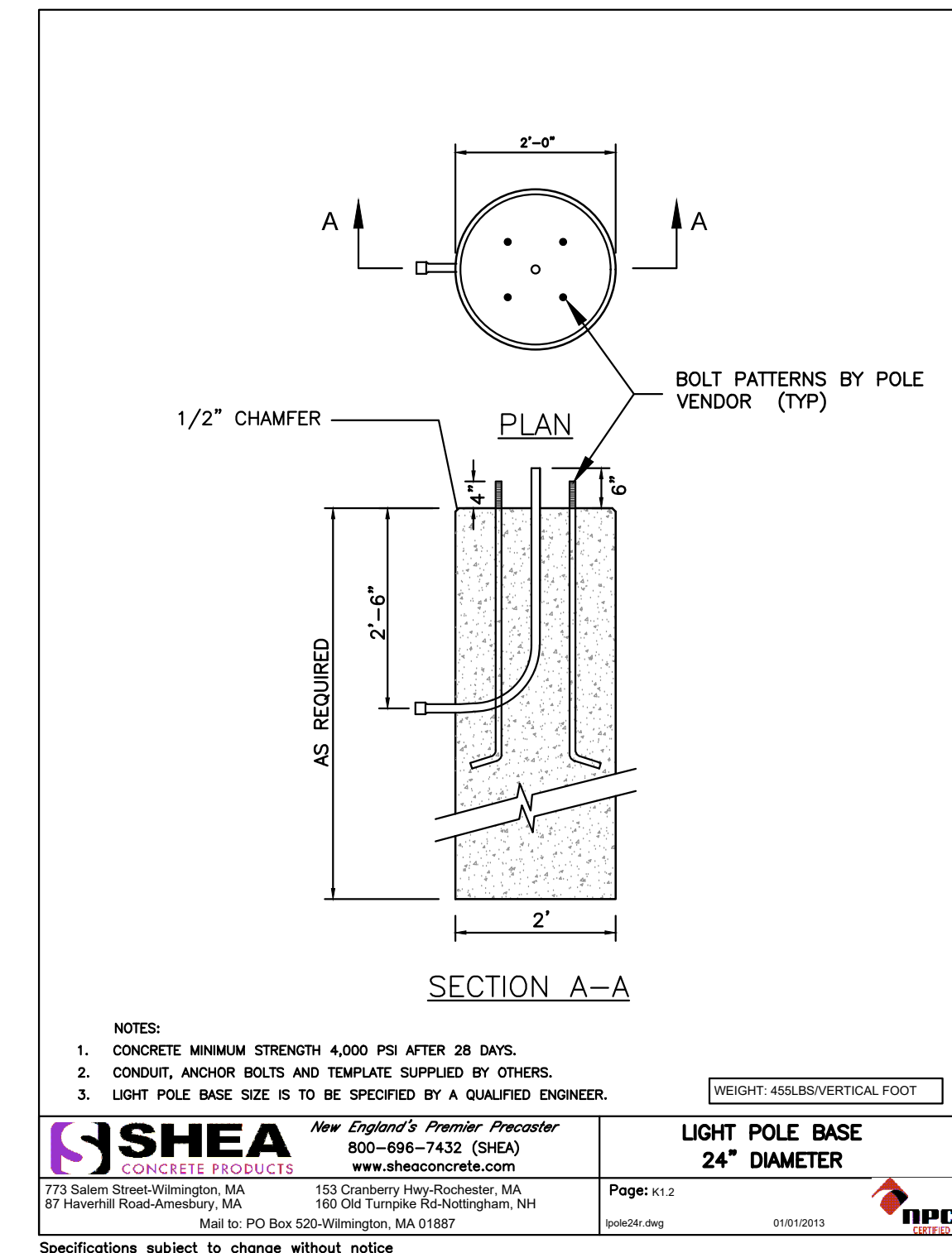
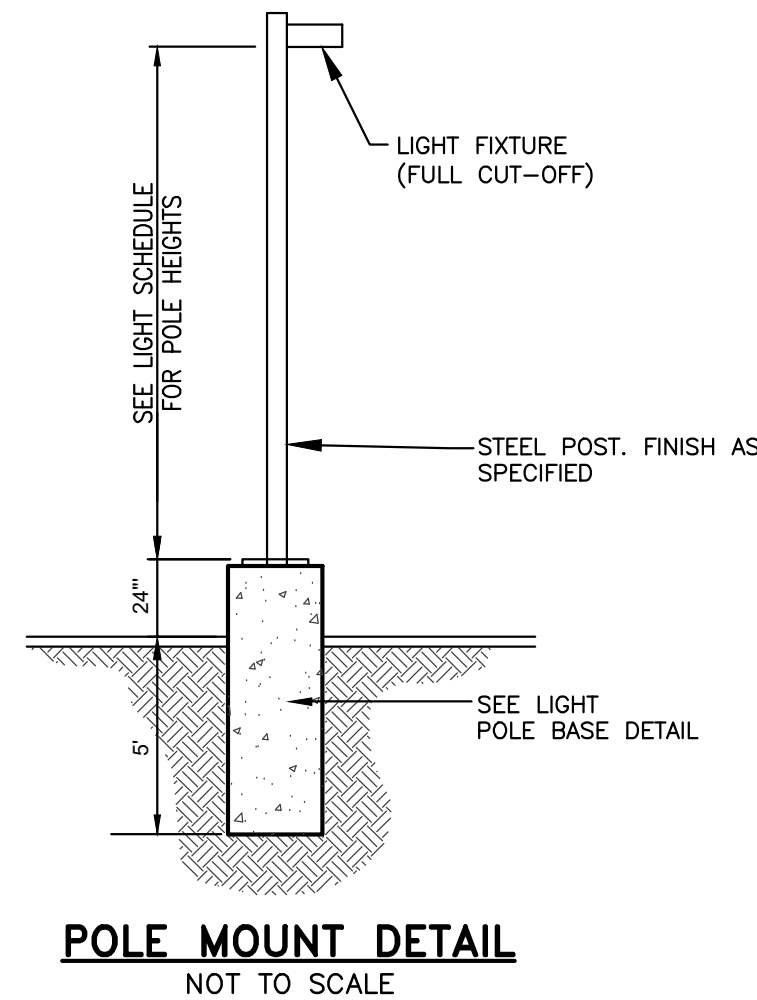
*LED Chips are frequently updated therefore values are nominal.

Statistics

| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
|---|--------|---------|---------|---------|---------|---------|
| Convenience & Gas Paved (less under canopy) | □ | 6.9 fc | 21.1 fc | 0.5 fc | 42.2:1 | 13.8:1 |
| Entire Calculation Area | + | 3.0 fc | 70.8 fc | 0.0 fc | N/A | N/A |
| Gas Canopy Area | X | 37.9 fc | 70.8 fc | 10.7 fc | 6.6:1 | 3.5:1 |
| Truck Canopy Area | * | 19.8 fc | 33.1 fc | 9.8 fc | 3.4:1 | 2.0:1 |
| Truck Paved Area (less under canopy) | X* | 5.4 fc | 18.9 fc | 0.2 fc | 94.5:1 | 27.0:1 |

Schedule

| Symbol | Label | Quantity | Manufacturer | Catalog Number | Description | Lamp | Number Lamps | Filename | Lumens Per Lamp | Light Loss Factor | Wattage |
|--------|-------|----------|--------------|--|---|------|--------------|-----------------------------------|-----------------|-------------------|---------|
| □ | C | 34 | LSI | CRUS-AC-LED-VHO-50 | Under Canopy Recessed Square LED | LED | 1 | CRUS-AC-LED-VHO-50-IES | 17256 | 0.95 | 157.3 |
| □ | S1 | 7 | LSI | MRL-LED-50L-SIL-FT-50-70CRI-L - 5885 20 S11 | Single Full Cut Off Dark Sky Friendly Forward Throw Luminaire with 20 ft. Square Steel Pole | LED | 1 | MRL-LED-50L-SIL-FT-50-70CRI-L-ies | 35854 | 0.95 | 404 |
| □ | S2 | 7 | LSI | MRL-LED-50L-SIL-FT-50-70CRI-L - SSQB 30 S11 | Single Full Cut Off Dark Sky Friendly Forward Throw Luminaire with 30 ft. Square Steel Pole | LED | 1 | MRL-LED-50L-SIL-FT-50-70CRI-L-ies | 35854 | 0.95 | 404 |
| □ | S3 | 1 | LSI | (2) MRL-LED-50L-SIL-FT-50-70CRI-L - SS 20 S11 | Twin (2 ftx. 180 deg.) Full Cut Off Dark Sky Friendly Forward Throw Luminaire with 20 ft. Square Steel Pole | LED | 1 | MRL-LED-50L-SIL-FT-50-70CRI-L-ies | 35854 | 0.95 | 808 |
| □ | S4 | 0 | LSI | MRL-LED-50L-SIL-FTA-27-70CRI - 58QB 30 S11 | Single Full Cut Off Dark Sky Friendly Type IV Forward Throw Luminaire with 30 ft. Square Steel Pole | LED | 1 | MRL-LED-50L-SIL-FTA-27-70CRI-ies | 45479 | 0.95 | 404 |
| □ | S5 | 6 | LSI | (2) MRL-LED-50L-SIL-FTA-27-70CRI - 58QB 30 S11 | Twin Full Cut Off Dark Sky Friendly Type IV Forward Throw Luminaire with 30 ft. Square Steel Pole | LED | 1 | MRL-LED-50L-SIL-FTA-27-70CRI-ies | 45479 | 0.95 | 808 |
| □ | W1 | 8 | LSI | XWM-FT-LED-08-50 | Building Mounted Full Cut Off Dark Sky Friendly LED Luminaire | LED | 1 | XWM-FT-LED-08-50-IES | 8657 | 0.95 | 76 |



NOTES:

- CONCRETE MINIMUM STRENGTH 4000 PSI AFTER 28 DAYS.
- CONDUIT, ANCHOR BOLTS AND TEMPLATE SUPPLIED BY OTHERS.
- LIGHT POLE BASE SIZE IS TO BE SPECIFIED BY A QUALIFIED ENGINEER.

WEIGHT: 452LB/VERTICAL FOOT

LSHEA
CONCRETE PRODUCTS
New England's Premier Precaster
800-698-7432 (SHEA)
www.sheaconcrete.com

773 Salem Street-Wilmington, MA
87 Havenhill Road-Amherst, MA
Mail to: PO Box 620-Wilmington, MA 01887

153 Cranbury Hwy-Rochester, MA
160 Old Turnpike Rd-Nottingham, NH

Page: K1-2
shea04r.dwg
010110213
OPCA



The Dubai Group, Inc.
 84 Range Road
 Windham, NH 03087
 603-458-6462

Engineers
 Planners
 Surveyors
 TheDubayGroup.com

REVISIONS:

| REV. | DATE: | COMMENT: | BY: |
|------|----------|------------------------|-----|
| 1 | 11/19/19 | REVS PER TOWN COMMENTS | SJK |
| 8 | 07/15/21 | REVISED LAYOUT | JHD |

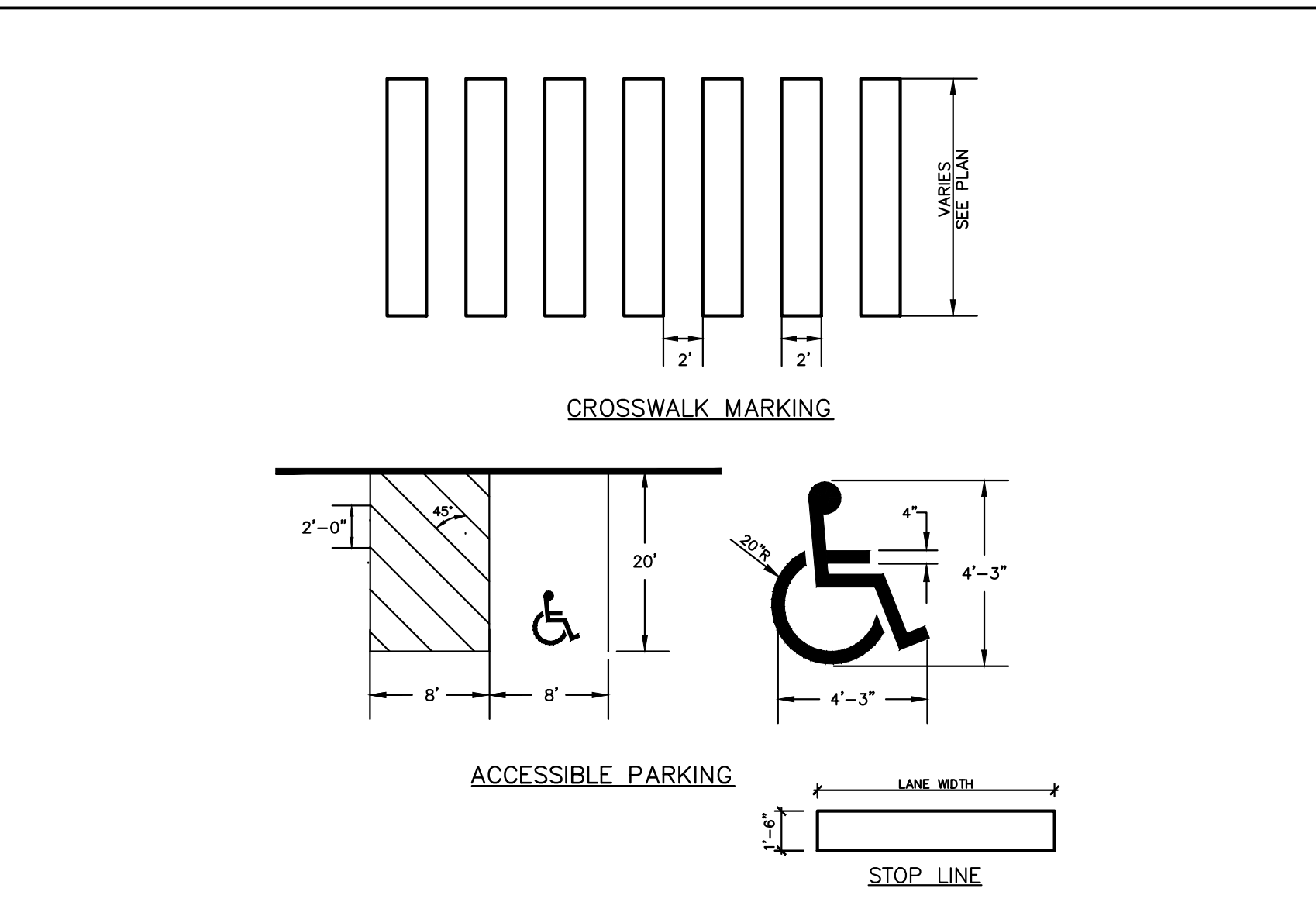
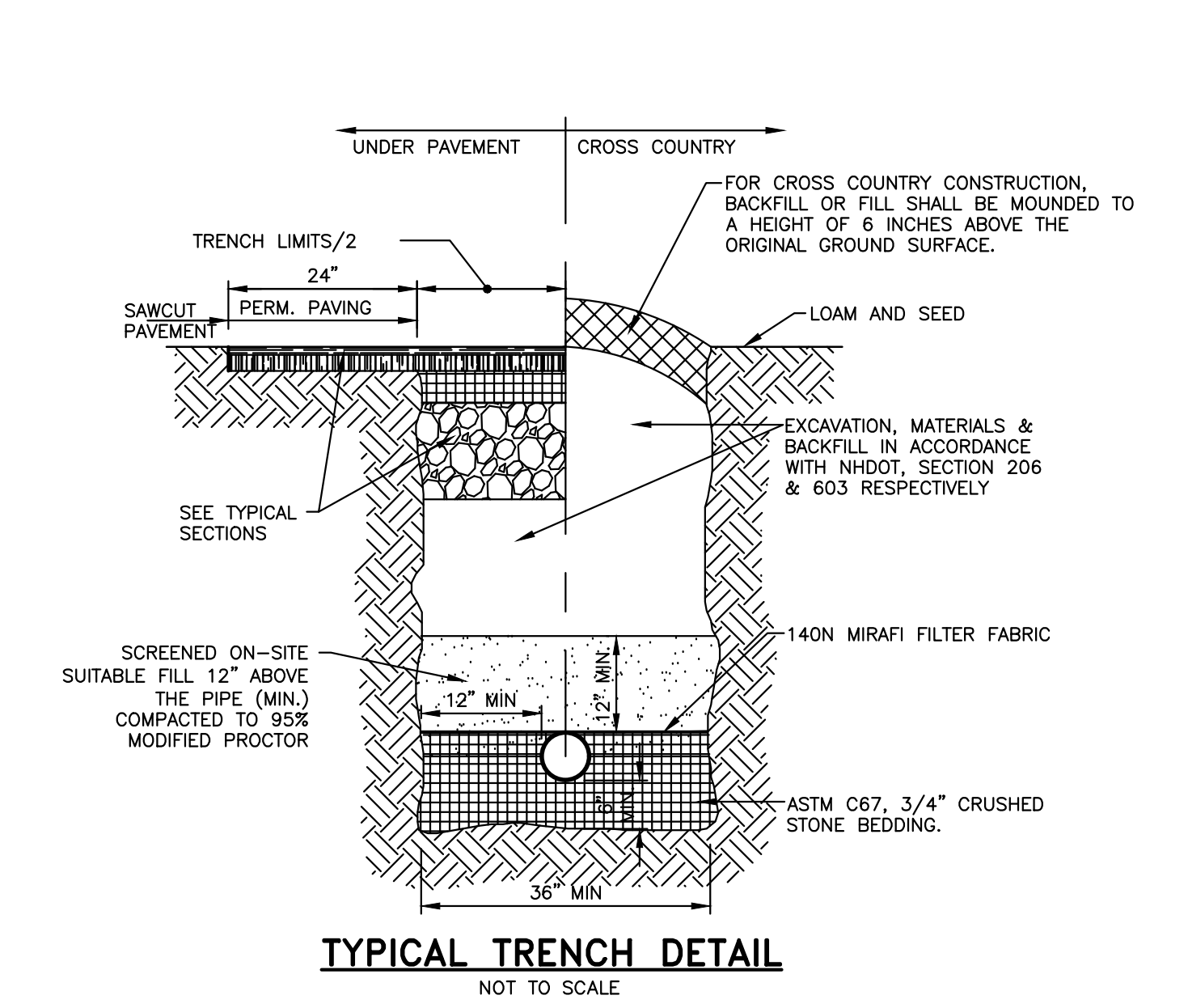
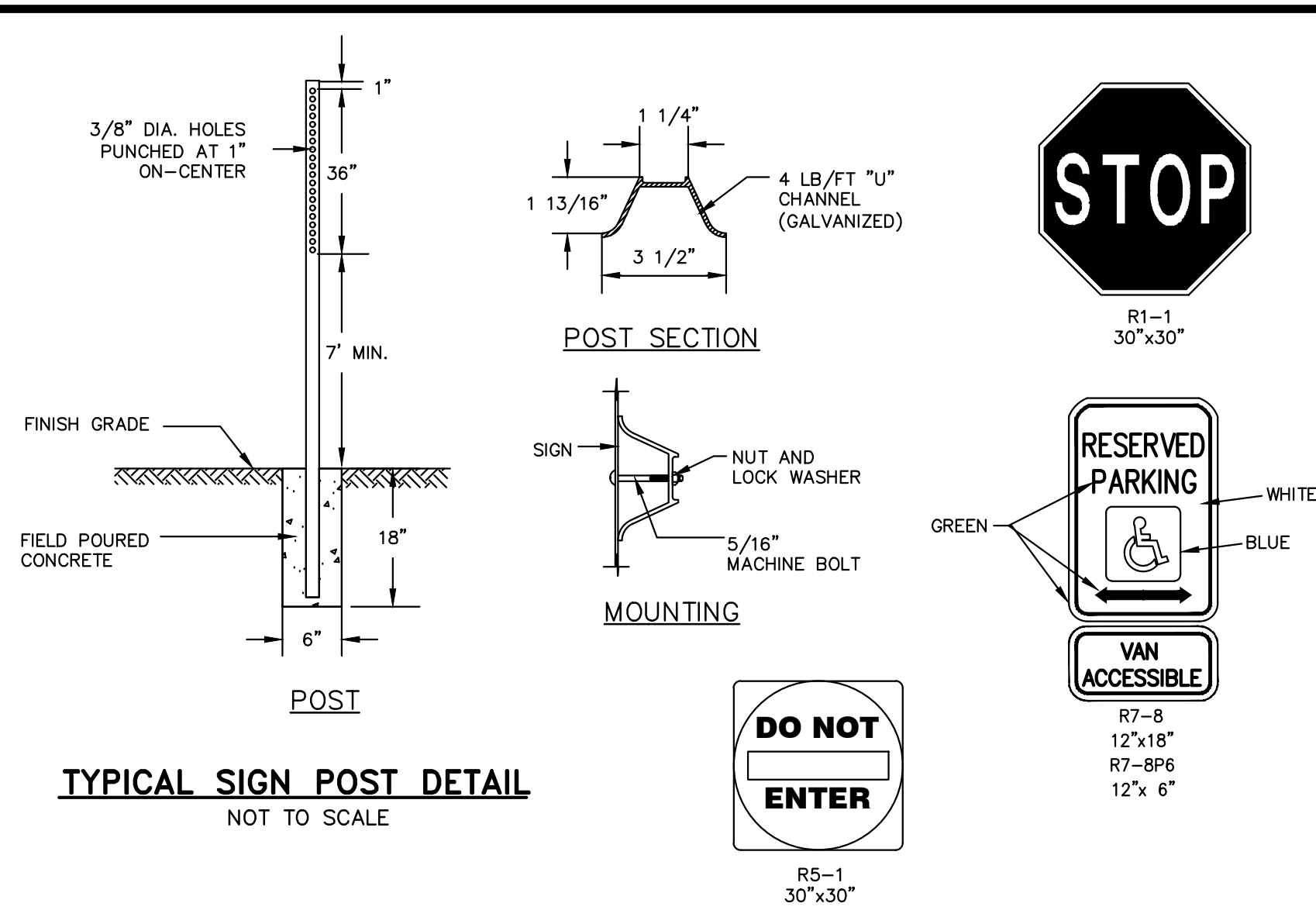
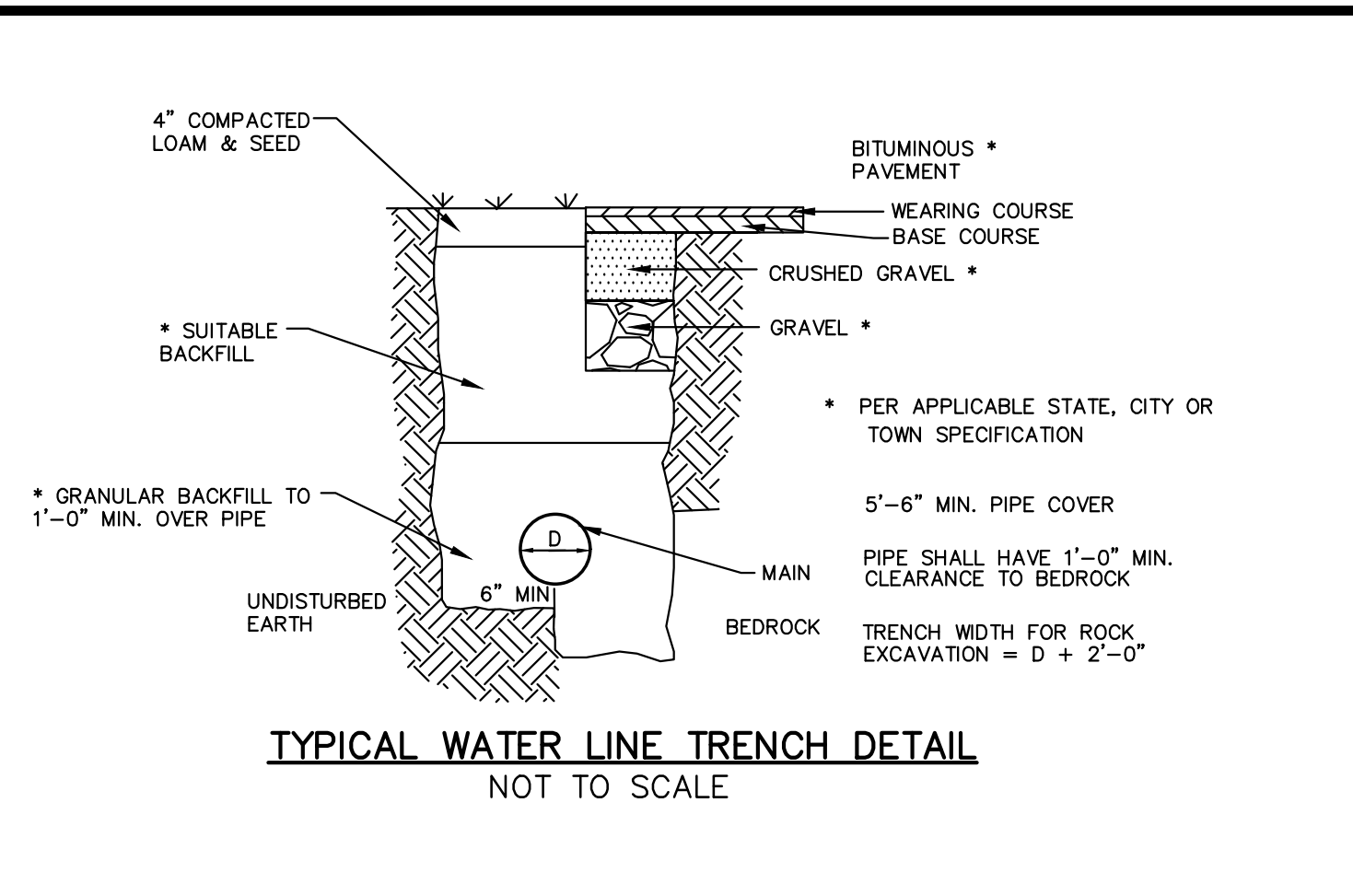
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 CHECKED BY: DGM
 DATE: AUG. 21, 2019
 SCALE: NONE
 FILE: 364-LIGHTING
 DEED REF: -

PROJECT A
MEGA-X
 MAP 22 LOT 9-1
 OLD MANCHESTER ROAD
 RAYMOND, NH 03077

OWNER
NEW SUNSET REALTY, LLC
 73 MACINTOSH LANE
 BEDFORD, NH 03110

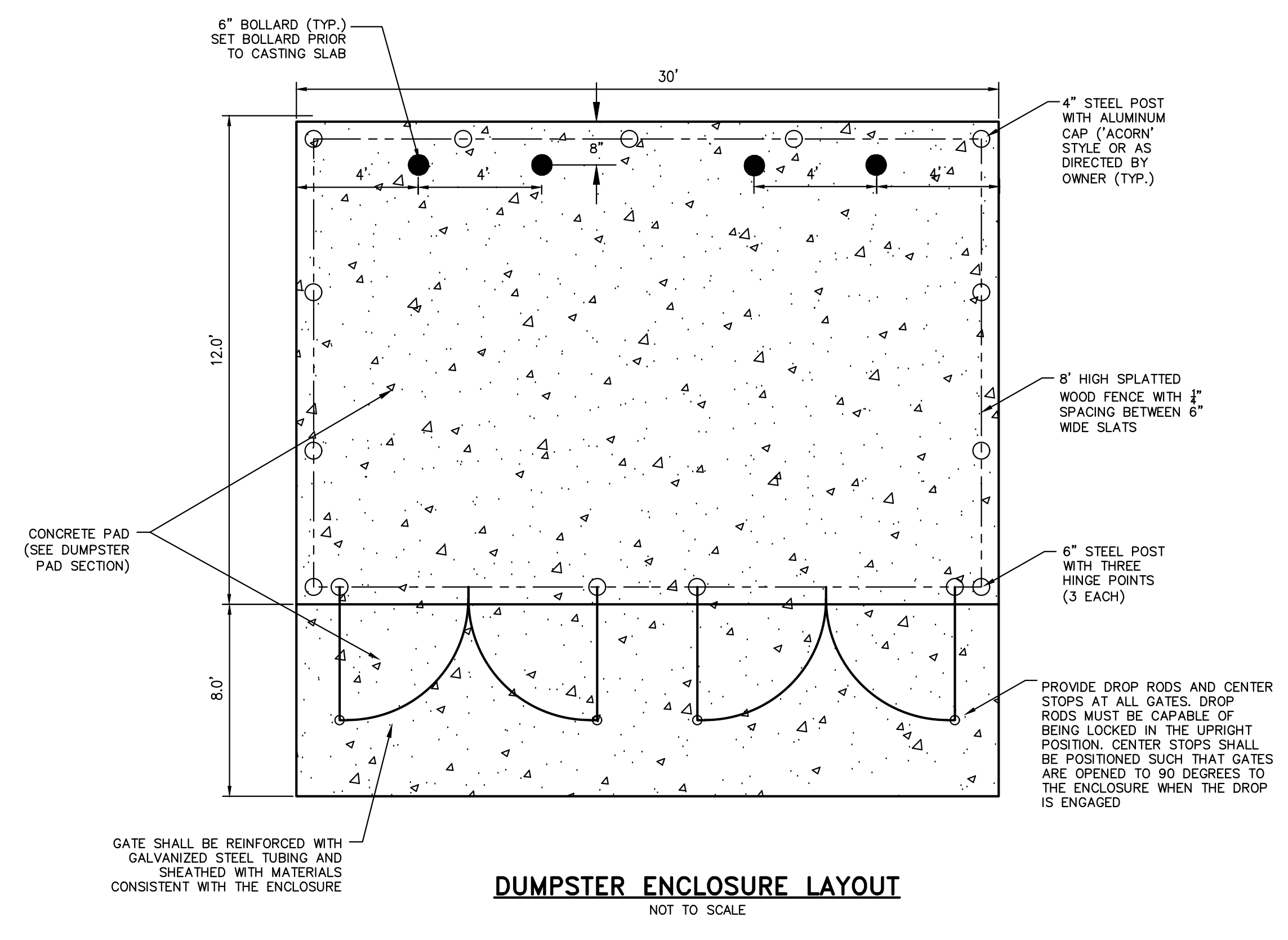
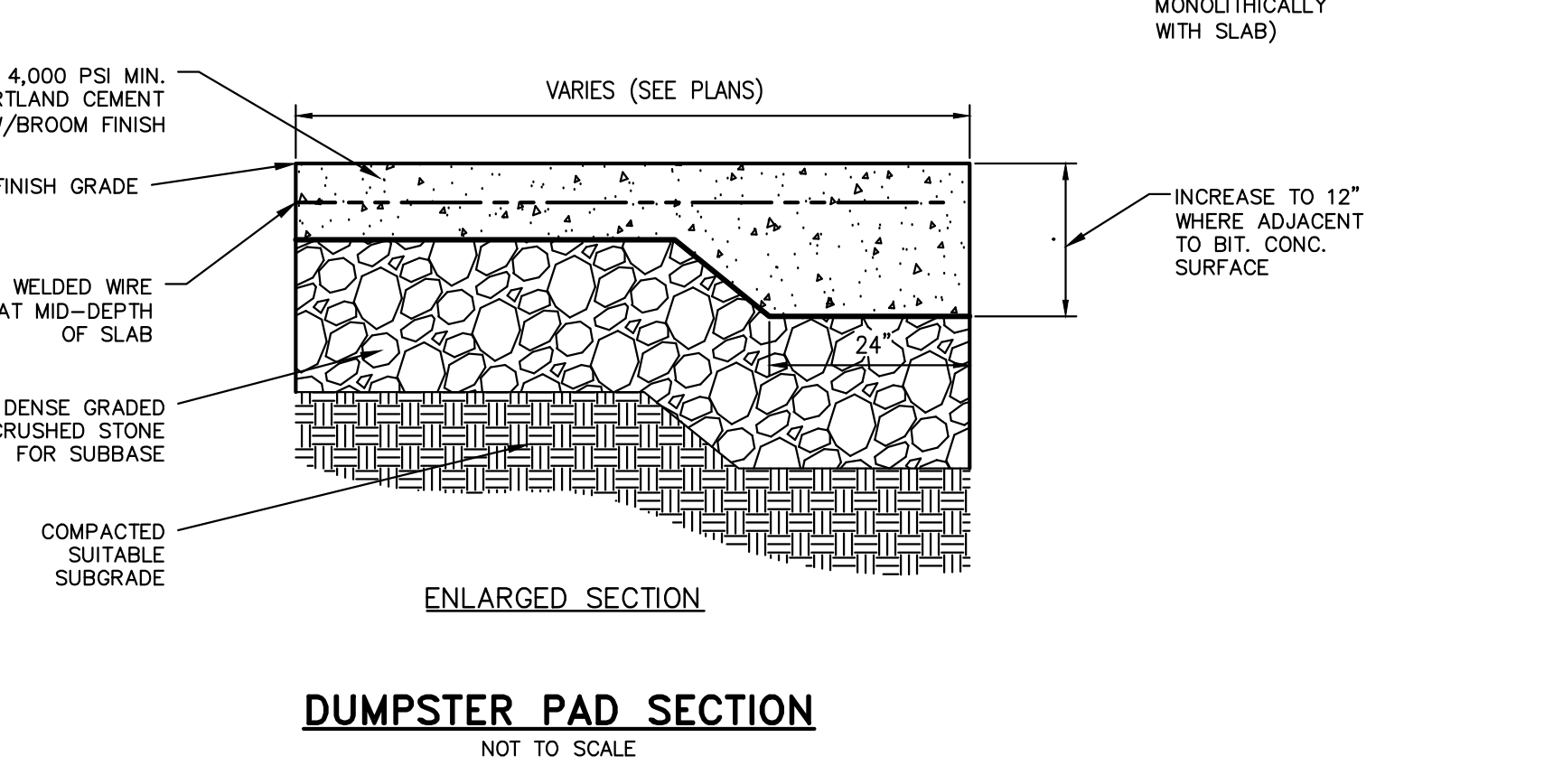
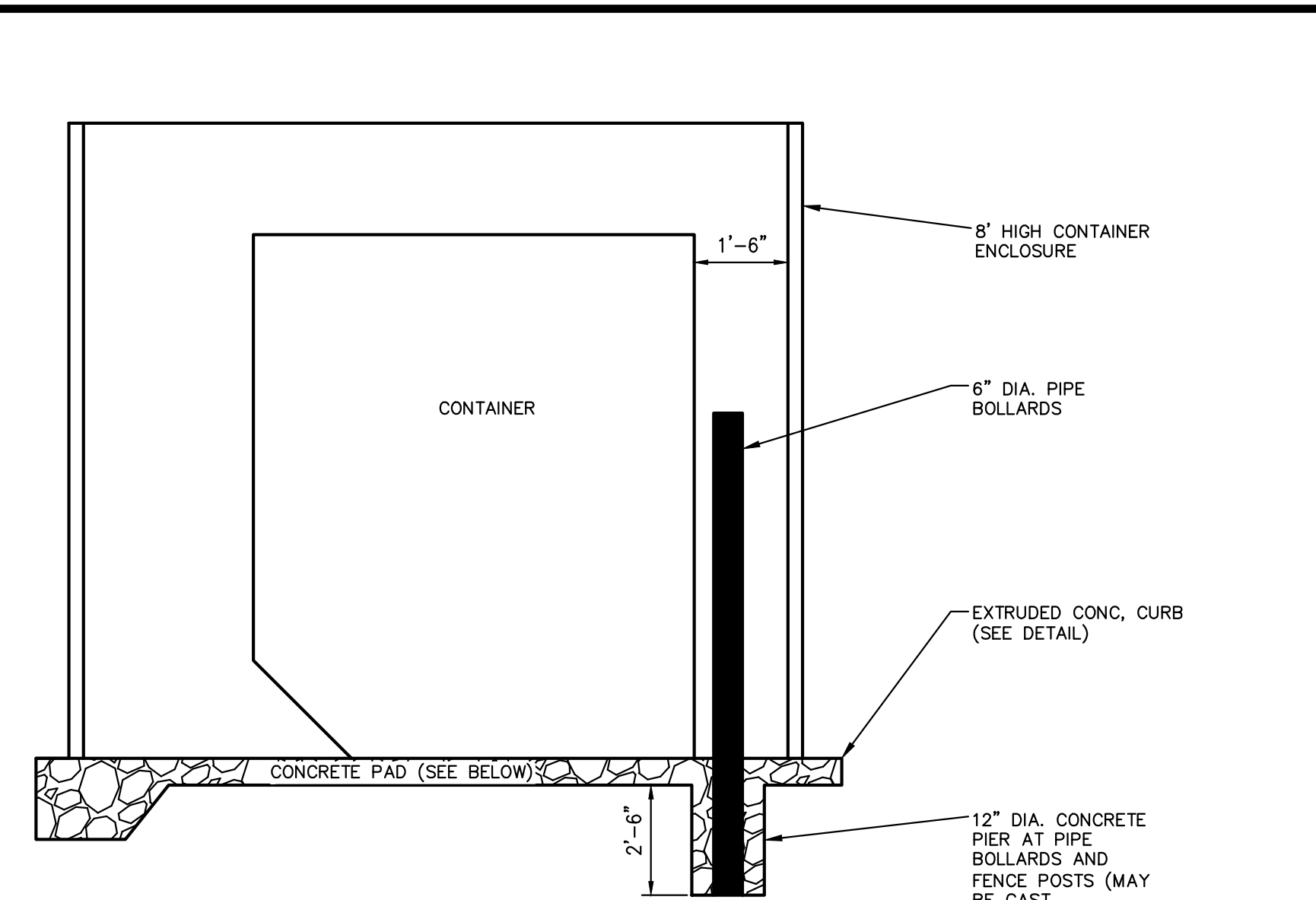
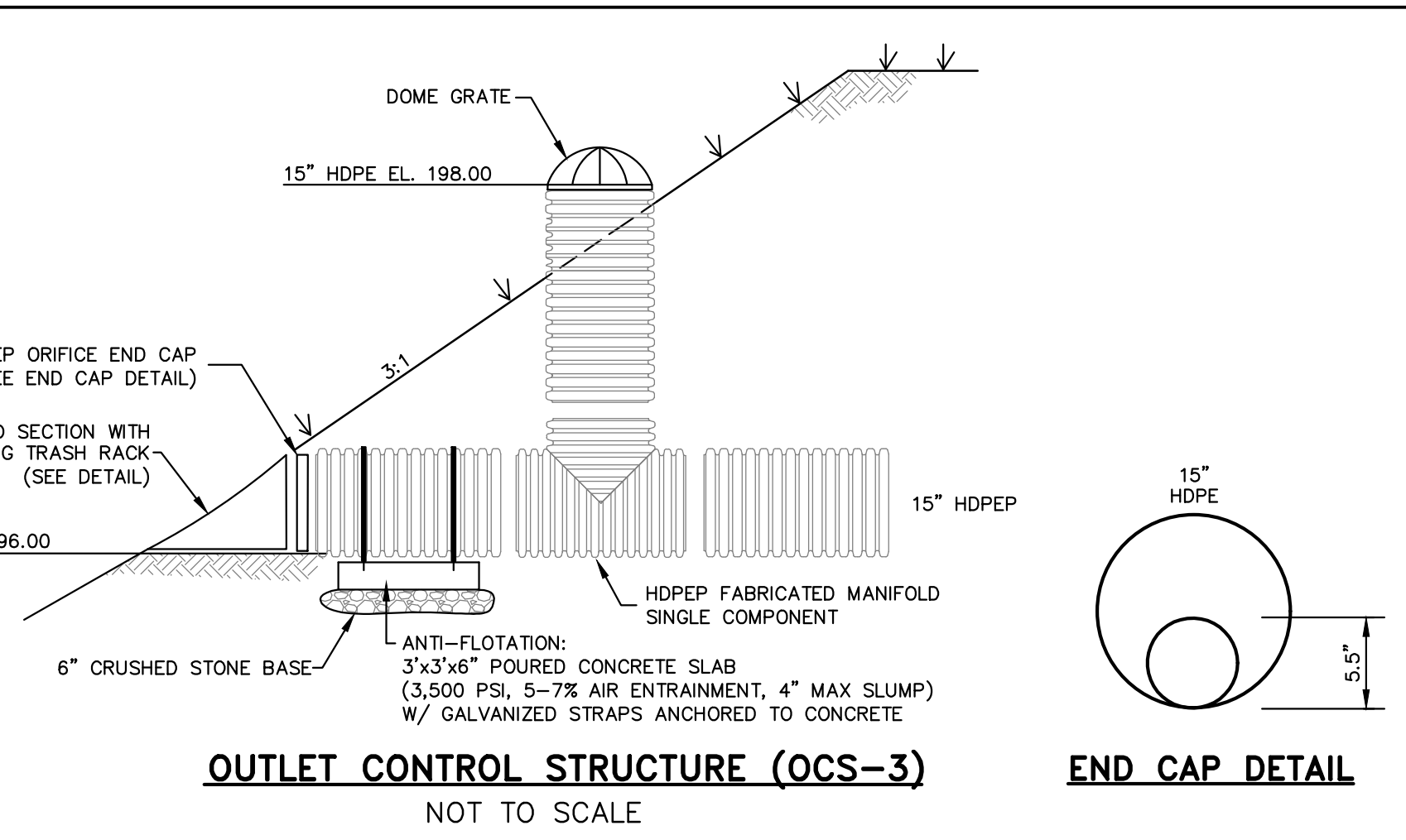
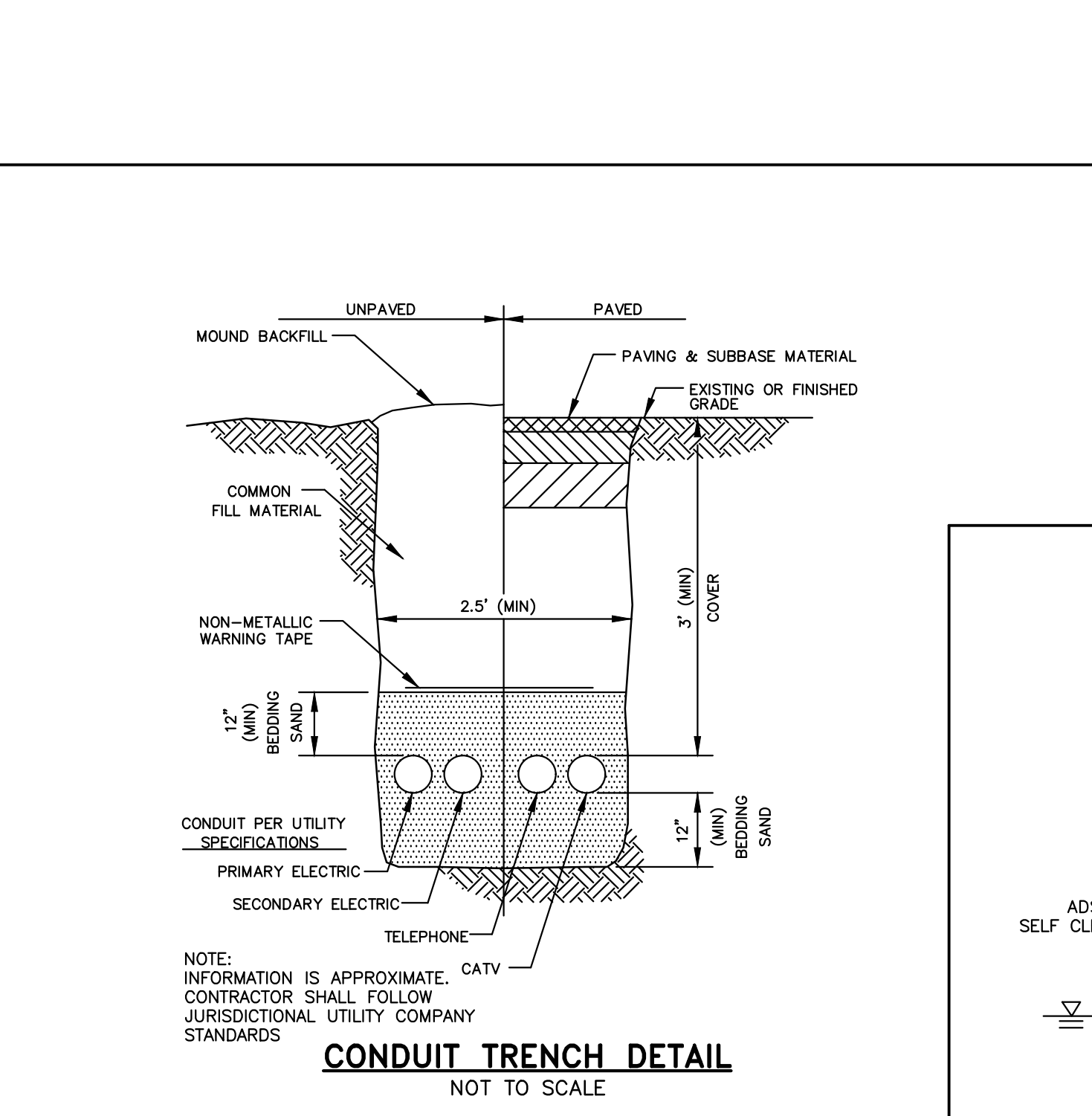
SHEET TITLE:
**LIGHTING
 DETAILS**

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- GENERAL NOTES:**
1. ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE CURRENT EDITION OF MUTCD.
 2. WIDTH OF LINES SHALL VARY NO MORE THAN = 1/4 INCH FROM THAT SPECIFIED.
 3. THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.
 4. OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.
 5. STOP LINES & CROSSWALKS SHALL BE WHITE THERMOPLASTIC.
 6. CROSSWALK BARS SHALL BE 24\"/>

TYPICAL PAVEMENT STRIPING DETAILS
NOT TO SCALE



The Dubai Group, Inc.
84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors
TheDubayGroup.com

REVISIONS:

| REV. | DATE: | COMMENT: | BY: |
|------|-------|----------|-----|
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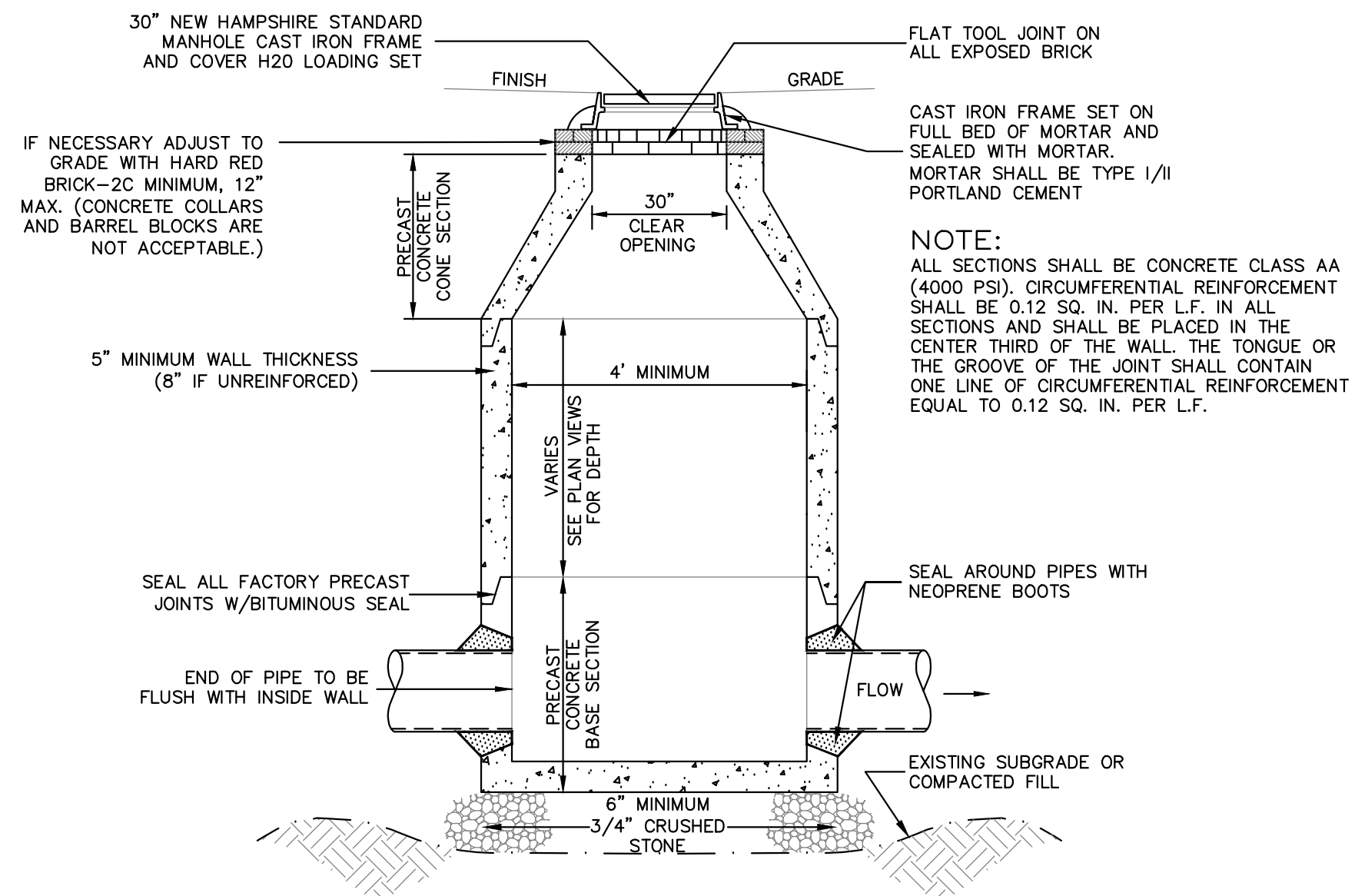
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CHECKED BY: DGM
DATE: AUG. 21, 2019
SCALE: NTS
FILE: 364-DETAILS
DEED REF: -

PROJECT:
MEGA-X
MAP 22 LOT 9-1
OLD MANCHESTER ROAD
RAYMOND, NH 03077
OWNER:
NEW SUNSET REALTY, LLC
73 MACINTOSH LANE
BEDFORD, NH 03110

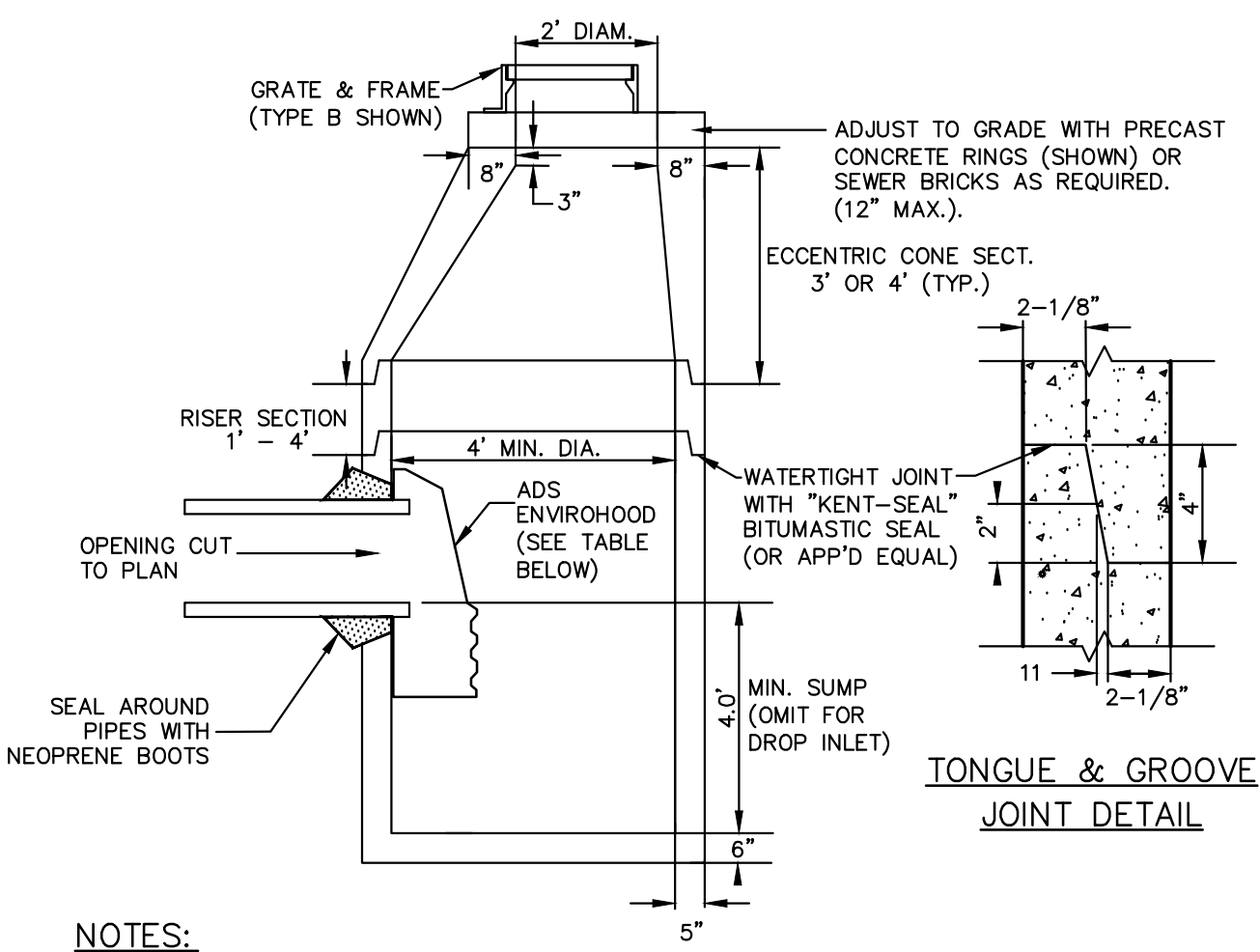
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SITE DETAILS - 4

PROJECT #364 SHEET 16 OF 21

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DRAIN MANHOLE DETAIL
NOT TO SCALE

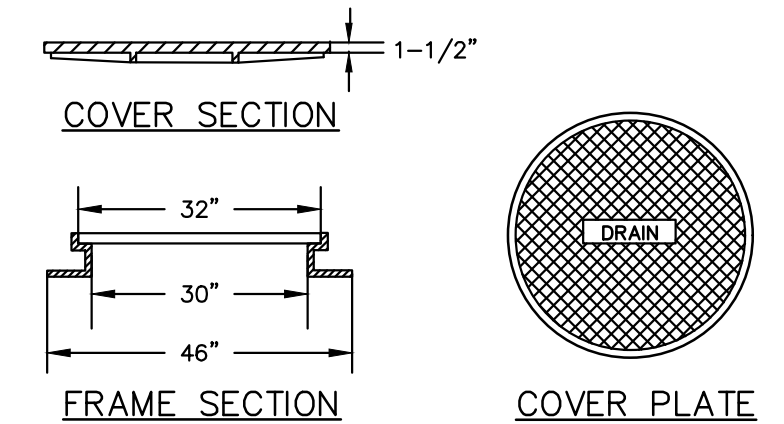
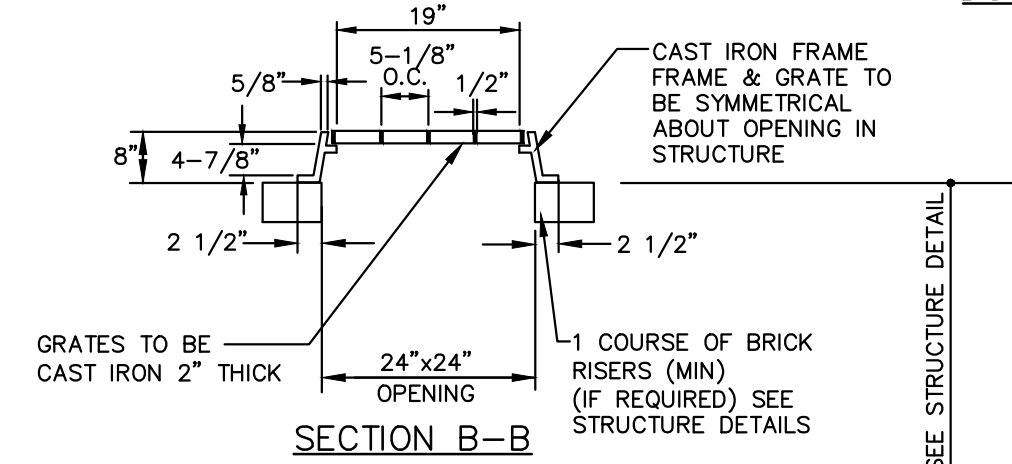
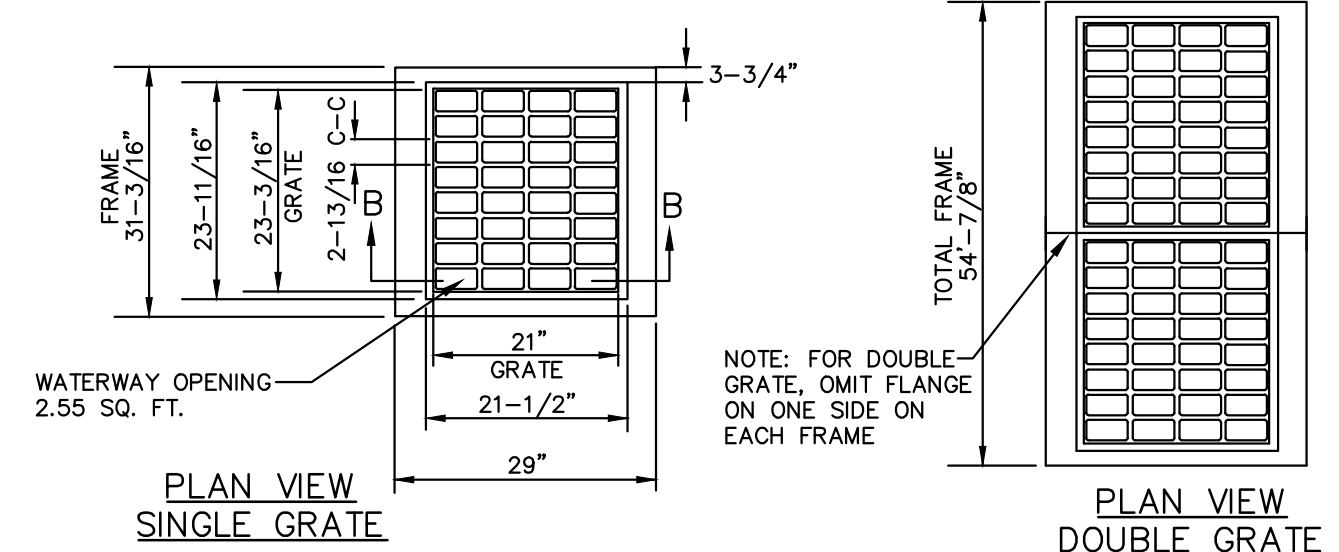
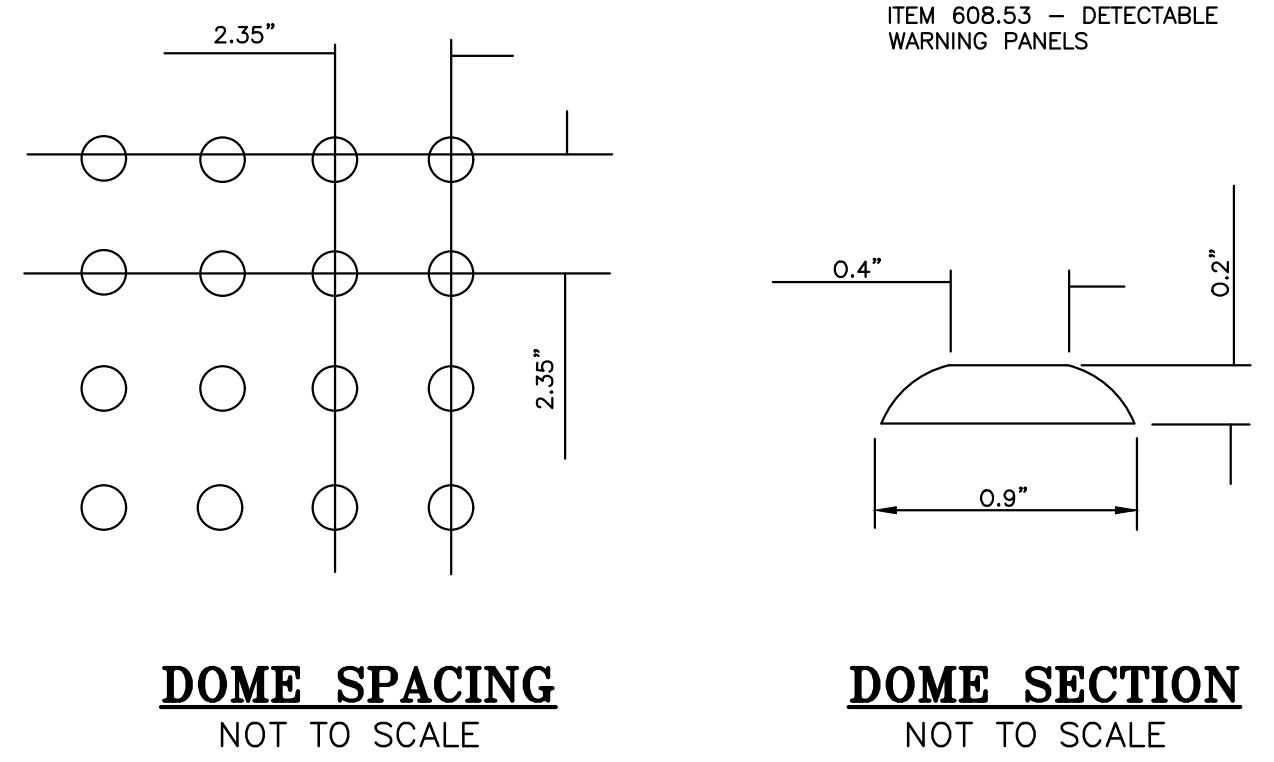


TONGUE & GROOVE JOINT DETAIL

MATERIALS & CONSTRUCTION TO NHDOT STANDARDS

| STRUCTURE TYPE | OUTLET COVERED | PART NUMBER | GENERAL DIMENSIONS IN. (cm) | | | |
|-------------------------------------|-------------------|-------------|-----------------------------|-----------|-----------|-----------|
| | | | A | B | C | D |
| 48" (120 cm) ROUND CONCRETE | UP TO 18" (45 cm) | 5818AGR | 30.2 (75) | 14.9 (35) | 17.2 (45) | 20.5 (50) |
| 48"-54" (120-135 cm) ROUND CONCRETE | UP TO 24" (60 cm) | 5824AGR | 41.7 (105) | 18.0 (45) | 26.9 (70) | 26.9 (70) |
| 54"-60" (135-150 cm) ROUND CONCRETE | UP TO 30" (75 cm) | 5830AGR | 48.7 (120) | 20.5 (50) | 30.5 (75) | 33.1 (85) |
| FLAT CONCRETE | UP TO 18" (45 cm) | 5818AGF | 30.2 (75) | 11.8 (30) | 17.2 (45) | 20.4 (50) |
| FLAT CONCRETE | UP TO 24" (60 cm) | 5824AGF | 41.8 (105) | 15.3 (40) | 26.9 (70) | 27.0 (70) |
| FLAT CONCRETE | UP TO 30" (75 cm) | 5830AGF | 48.8 (120) | 18.3 (45) | 30.5 (75) | 34.0 (85) |
| 18" (45 cm) NYLOPLAST | UP TO 12" (30 cm) | 5818AGO412 | 19.4 (50) | 9.38 (25) | 12.3 (30) | 13.8 (35) |
| 24" (60 cm) NYLOPLAST | UP TO 15" (40 cm) | 5824AGO415 | 26.5 (65) | 12.8 (30) | 14.5 (35) | 20.0 (50) |
| 30" (75 cm) NYLOPLAST | UP TO 18" (45 cm) | 5830AGO418 | 32.8 (85) | 15.4 (40) | 18.7 (45) | 26.0 (65) |

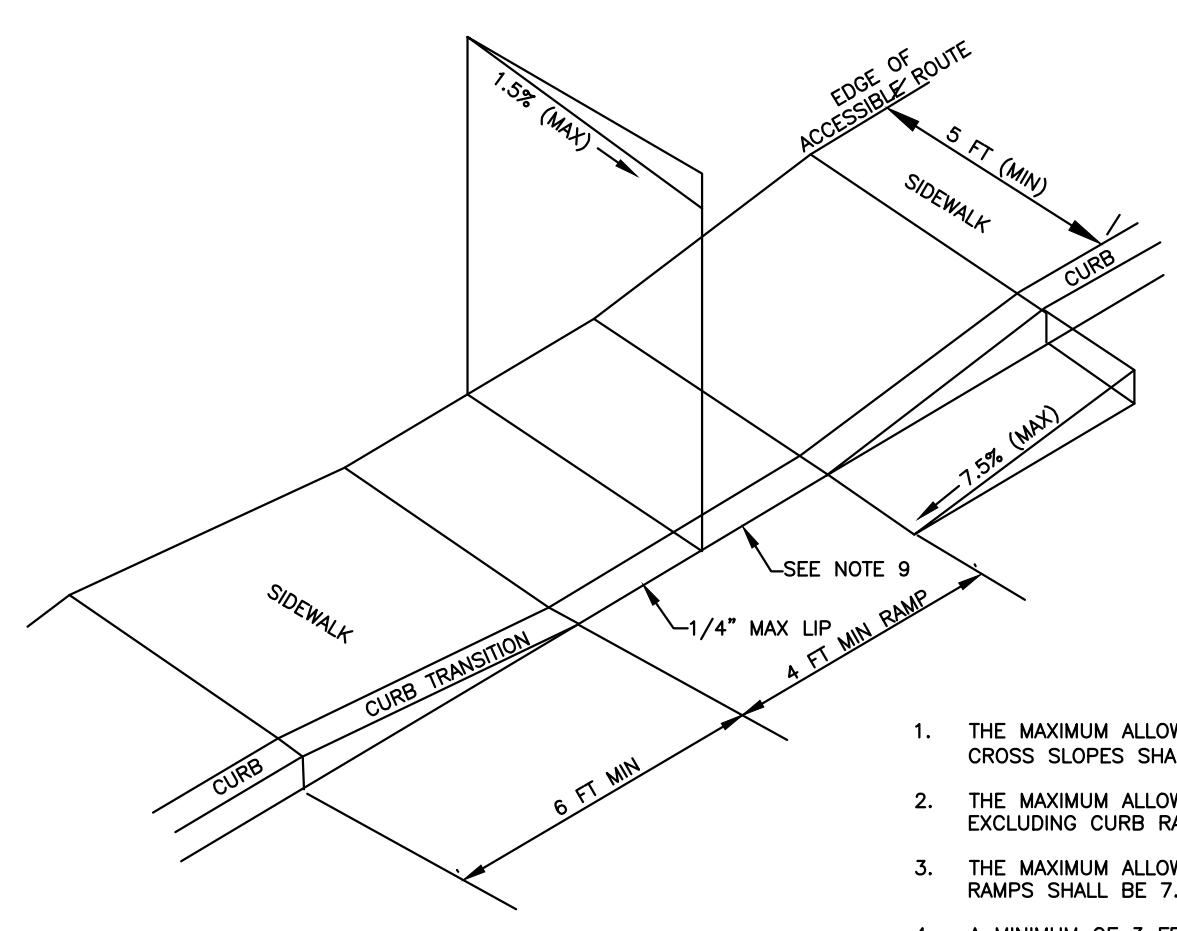
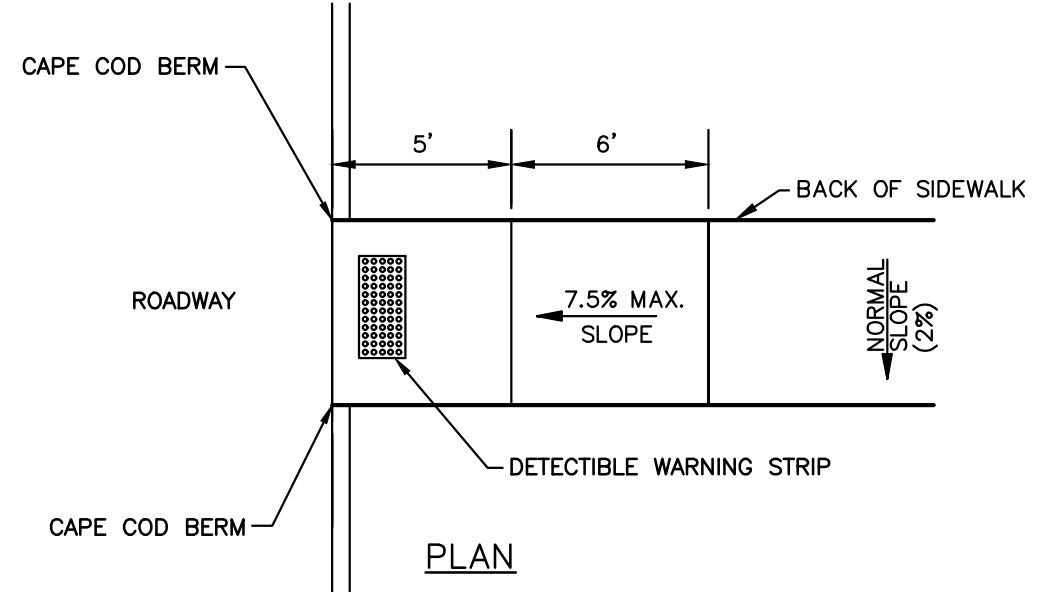
TYPICAL CATCH BASIN DETAIL W/ NYLOPLAST ENVIROHOOD
NOT TO SCALE



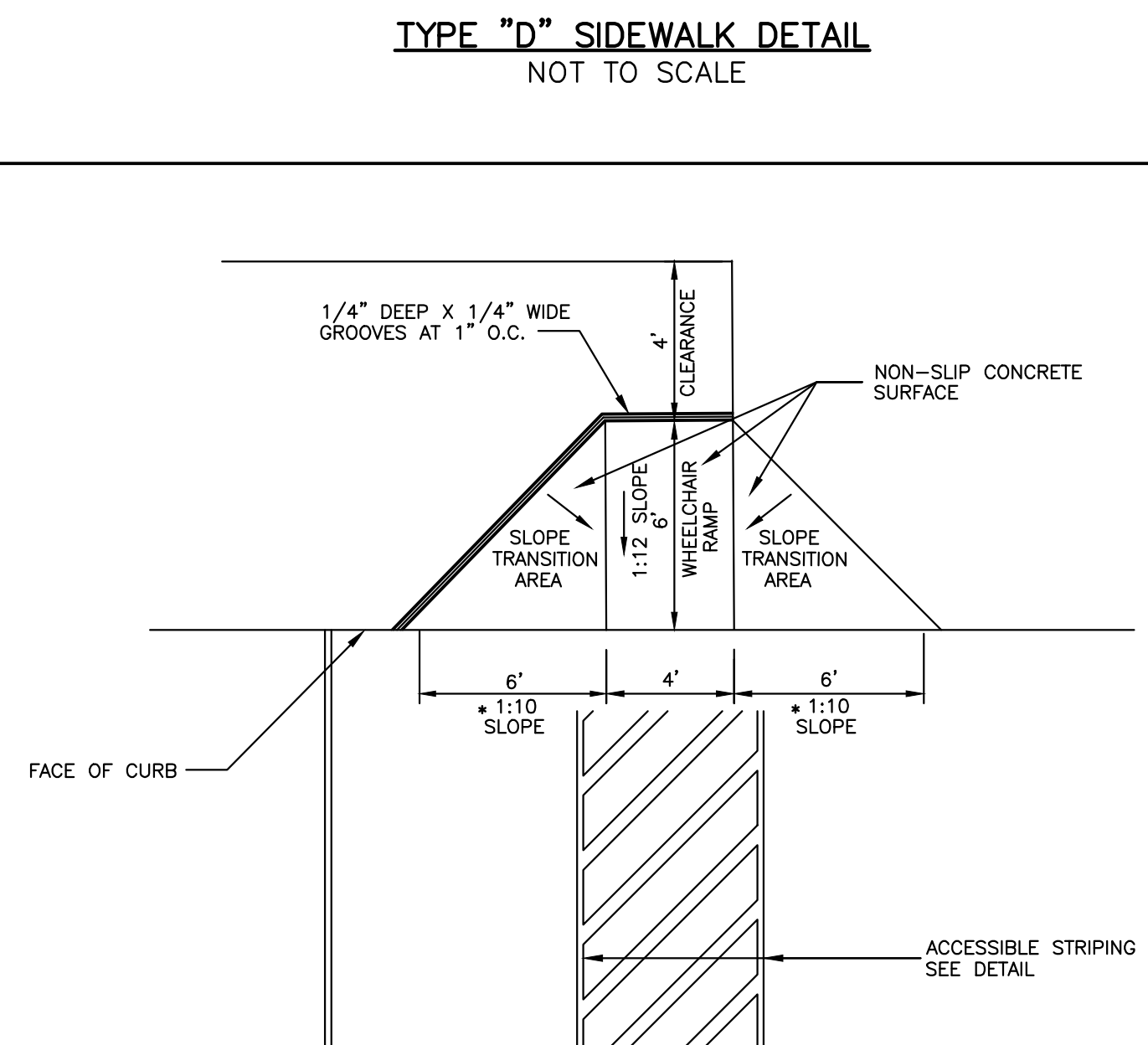
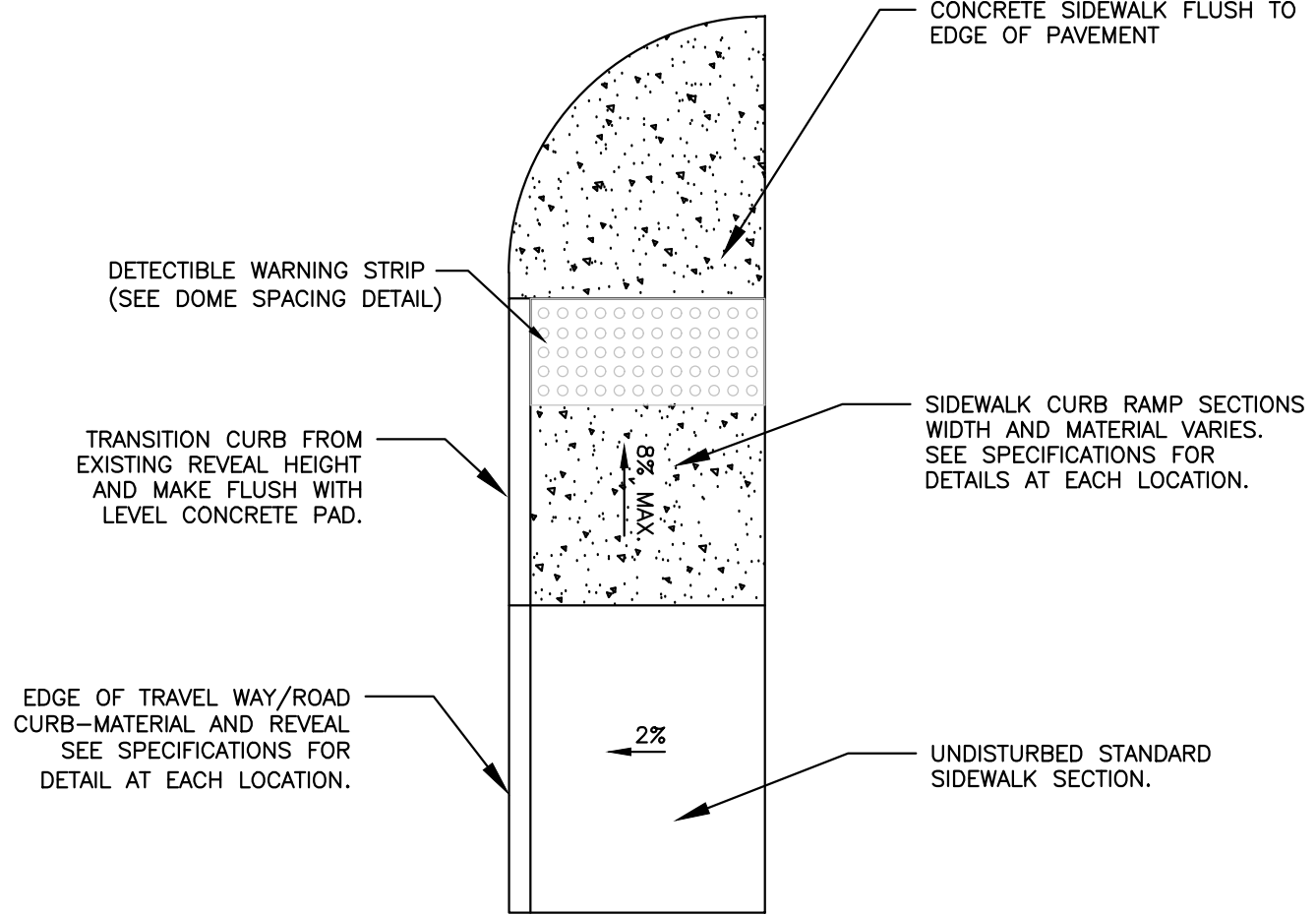
NOTES:

- CONTACT SURFACES OF COVERS AND FRAMES SHALL BE MACHINED AT THE FOUNDRY TO PREVENT ROCKING OF COVERS IN ANY ORIENTATION.
- CASTINGS SHALL BE EQUAL TO CLASS 30, CONFORMING TO ASTM A48.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH CLEAR OPENING. A 3 INCH (MINIMUM HEIGHT) WORD "SEWER" FOR SEWERS OR "DRAIN" FOR DRAINS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER. MANHOLE COVERS SHALL HAVE NON-PENETRATION PICK HOLES.

DRAIN MANHOLE FRAME AND COVER DETAIL
NOT TO SCALE



- THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN).
- THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
- THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 7.5%.
- A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
- CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
- BASE RAMP SHALL BE GRADED TO PREVENT PONDING.
- SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
- WHERE ACCESSIBLE ROUTES ARE LESS THAN 5 FT IN WIDTH (EXCLUDING CURB) A 5 FT X 5 FT PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
- ELIMINATE ALL CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS PAVEMENT.



The Dubai Group, Inc.
84 Range Road
Windham, NH 03087
603-458-6462

Engineers
Planners
Surveyors

TheDubayGroup.com

REVISIONS:

| REV. | DATE: | COMMENT: | BY: |
|------|-------|----------|-----|
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STATE OF NEW HAMPSHIRE
DOUGLAS G. MacGUIRE
No. 13325
LICENSEE
PROFESSIONAL ENGINEER

DRAWN BY: JHD
CHECKED BY: DGM
DATE: AUG. 21, 2019
SCALE: NTS
FILE: 364-DETAILS
DEED REF: -

PROJECT:
MEGA-X
MAP 22 LOT 9-1
OLD MANCHESTER ROAD
RAYMOND, NH 03077

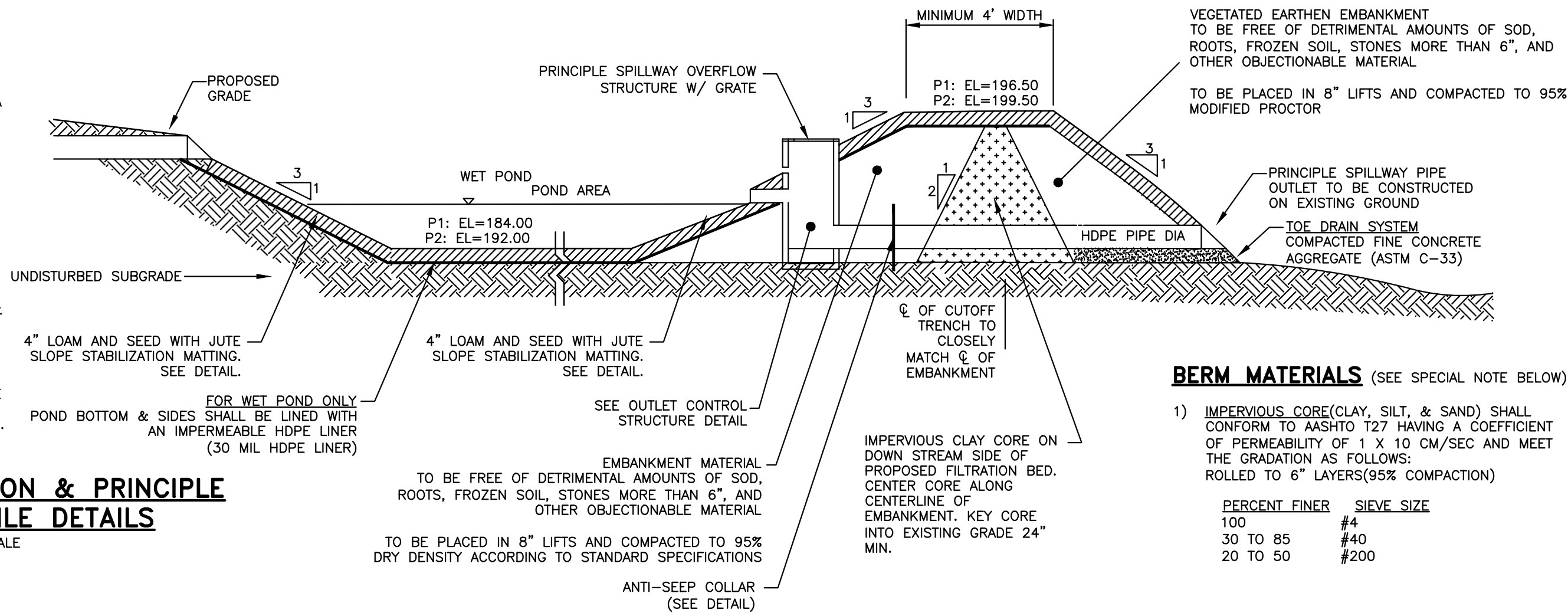
OWNER:

NEW SUNSET REALTY, LLC
73 MACINTOSH LANE
BEDFORD, NH 03110

SHEET TITLE:
SITE DETAILS - 5

SOIL AMENDMENT NOTE:

1. THE PROPOSED INFILTRATION POND-P2 IS TO BE CONSTRUCTED IN MATERIAL NOT SUITABLE FOR TREATMENT THROUGH INFILTRATION. THE CONTRACTOR SHALL EXCAVATE THE BOTTOMS AND SIDES OF THE PROPOSED POND TO PROVIDE A CONSISTENT AMENDED SOIL DEPTH OF 2 FEET.
2. THE AMENDED SOIL SHALL BE TESTED IN ACCORDANCE WITH ENV-104.14(9)(1); DETERMINE THE K_{SAT} OF THE PROPOSED FILL IN ACCORDANCE WITH TEST METHODS DESCRIBED IN ASTM D-5856, "STANDARD TEST METHOD FOR MEASUREMENT OF HYDRAULIC CONDUCTIVITY OF POROUS MATERIAL USING A RIGID-WALL COMPACTION-MOLD PERMEAMETER", JUNE 2015.
3. A QUALIFIED SOIL SCIENTIST, GEOLOGIST, OR ENGINEER SHALL BE RETAINED TO DESIGN THE SOIL AMENDMENT AND PERFORM INFILTRATION TESTING AT THE BASIN LOCATION. THE INFORMATION AND TEST RESULTS SHALL BE PROVIDED TO THE TOWN AND NHDES ALTERATION OF TERRAIN BUREAU TO VERIFY THE ASSUMED INFILTRATION RATES USED IN THE HYDROLOGIC MODEL. THE ACTUAL INFILTRATION RATE SHALL BE 10 INCHES PER HOUR TO YIELD A DESIGN INFILTRATION RATE OF 5 INCHES PER HOUR.

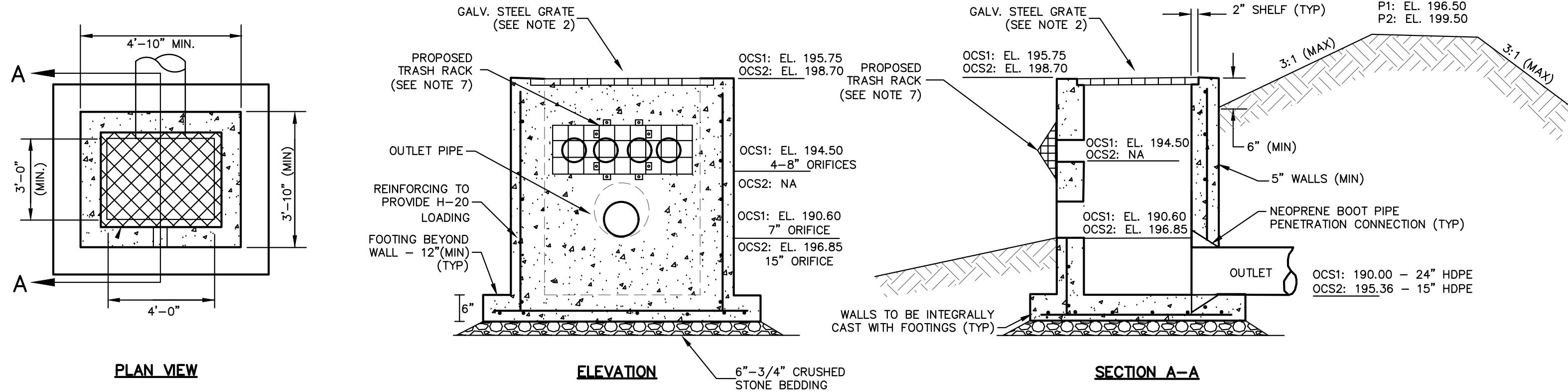


TYPICAL POND SECTION & PRINCIPLE SPILLWAY PROFILE DETAILS

NOT TO SCALE

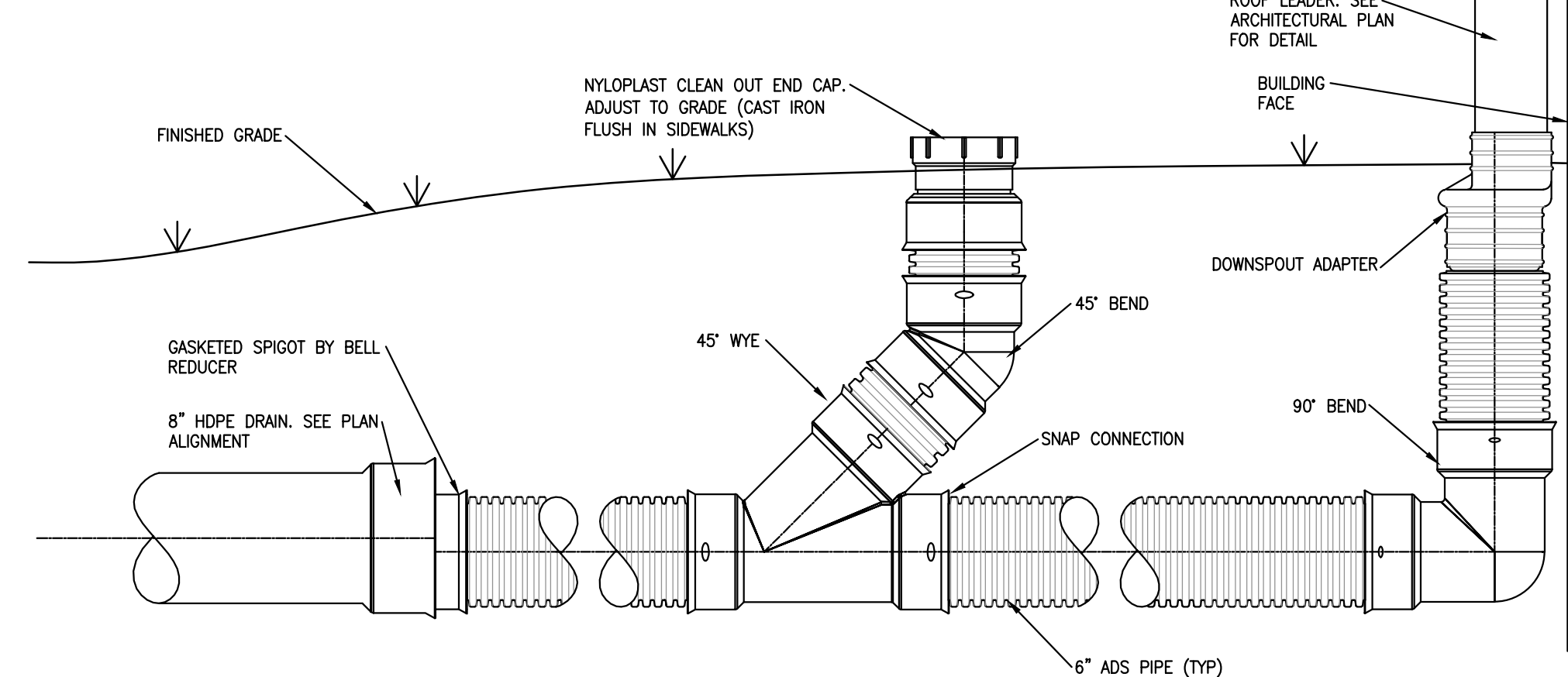
BERM MATERIALS (SEE SPECIAL NOTE BELOW)

- 1) IMPERVIOUS CORE (CLAY, SILT, & SAND) SHALL CONFORM TO AASHTO T27 HAVING A COEFFICIENT OF PERMEABILITY OF 1 X 10 CM/SEC AND MEET THE GRADATION AS FOLLOWS:
ROLLED TO 6" LAYERS (95% COMPACTION)
- | PERCENT FINER | SIEVE SIZE |
|---------------|------------|
| 100 | #4 |
| 30 TO 85 | #40 |
| 20 TO 50 | #200 |



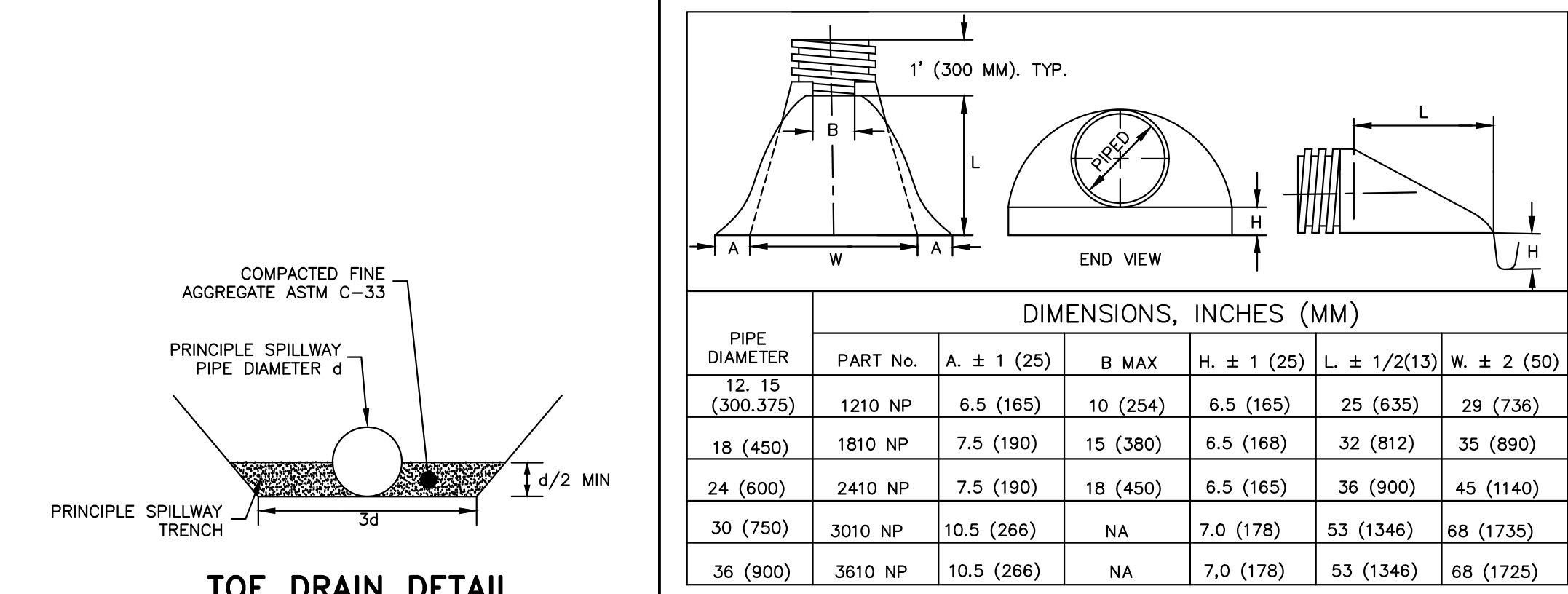
OUTLET CONTROL STRUCTURE DETAIL

NOT TO SCALE



ADS ROOF DRAIN DETAIL

NOT TO SCALE



TOE DRAIN DETAIL

NOT TO SCALE

ADS END SECTION DETAIL

NOT TO SCALE

MAINTENANCE:

MAINTENANCE IS NECESSARY IF DETENTION/RETENTION BASINS ARE TO CONTINUE TO FUNCTION AS ORIGINALLY DESIGNED. A LOCAL GOVERNMENT, A DESIGNATED GROUP SUCH AS A HOMEOWNERS' ASSOCIATION OR SOME INDIVIDUAL MUST BE ASSIGNED RESPONSIBILITY FOR MAINTAINING THE STRUCTURES AND THE BASIN AREA. A MAINTENANCE PLAN SHOULD BE DEVELOPED THAT OUTLINES THE MAINTENANCE OPERATIONS AND A SCHEDULE FOR CARRYING OUT THE PROCEDURES.

THE FOLLOWING ARE SOME ITEMS WHICH SHOULD BE CONSIDERED IN FORMULATING A MAINTENANCE PLAN.

1. EMBANKMENT - THE EMBANKMENT SHOULD BE INSPECTED ANNUALLY TO DETERMINE IF RODENT BURROWS, WET AREAS, OR EROSION OF THE FILL IS TAKING PLACE.
2. VEGETATION - THE VEGETATED AREAS OF THE STRUCTURE SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. LIME AND FERTILIZER SHOULD BE APPLIED AS NECESSARY AS DETERMINED BY SOIL TESTS. TREES AND SHRUBS SHOULD BE KEPT OFF THE EMBANKMENT AND EMERGENCY SPILLWAY AREAS.
3. INLETS - PIPE INLETS AND SPILLWAY STRUCTURES SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. ACCUMULATED DEBRIS AND SEDIMENT SHOULD BE REMOVED. IF PIPES ARE COATED, THE COATING SHOULD BE CHECKED AND REPAIRED AS NECESSARY.
4. OUTLETS - PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.
5. SEDIMENT - SEDIMENT SHOULD BE CONTINUALLY CHECKED IN THE BASIN. WHEN SEDIMENT ACCUMULATIONS REACH THE PREDETERMINED DESIGN ELEVATION, THEN THE SEDIMENT SHOULD BE REMOVED AND PROPERLY DISPOSED OF.
6. SAFETY INSPECTIONS - ALL PERMANENT IMPOUNDMENTS SHOULD BE INSPECTED BY A QUALIFIED PROFESSIONAL ENGINEER ON A PERIODIC BASIS. IF THERE IS A POTENTIAL FOR SIGNIFICANT DAMAGE OR LOSS OF LIFE DOWNSTREAM, THEN THE INSPECTION SHOULD BE CARRIED OUT ANNUALLY. THE DESIGNATED INDIVIDUAL OR GROUP SHOULD ALSO MAKE INSPECTIONS AFTER EVERY MAJOR STORM EVENT.

CONSTRUCTION CRITERIA:

1. FOUNDATION PREPARATION - THE FOUNDATION AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOD, AND RUBBISH. IF NEEDED TO ESTABLISH VEGETATION, THE TOPSOIL AND SOD SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED DAM AND SPILLWAYS. FOUNDATION SURFACES SHALL BE SLOPED NO STEEPER THAN 1:1. THE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED IF NECESSARY SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS.

THE CUTOFF TRENCH AND ANY OTHER REQUIRED EXCAVATIONS SHALL BE DUG TO THE LINES AND GRADES SHOWN ON THE PLANS OR AS STAKED IN THE FIELD. IF THEY ARE SUITABLE, EXCAVATED MATERIALS SHALL BE USED IN THE PERMANENT FILL.

EXISTING STREAM CHANNELS IN THE FOUNDATION AREA SHALL BE SLOPED NO STEEPER THAN 1:1 AND DEEPENED AND WIDENED AS NECESSARY TO REMOVE ALL STONES, GRAVEL, SAND, STUMPS, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND TO ACCOMMODATE COMPACTION EQUIPMENT.

FOUNDATION AREAS SHALL BE KEPT FREE OF STANDING WATER WHEN FILL IS BEING PLACED ON THEM.

2. FILL PLACEMENT - THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOD, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATERIAL.

SELECTED BACKFILL MATERIAL SHALL BE PLACED AROUND STRUCTURES, PIPE CONDUITS, AND ANTISEEP COLLARS AT ABOUT THE SAME RATE ON ALL SIDES TO PREVENT DAMAGE FROM UNEQUAL LOADING.

THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION

AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT THE REQUIRED COMPACTION CAN BE OBTAINED. THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS, EXCEPT WHERE OPENINGS OR SECTIONALIZED FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL.

THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OR GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MORE IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.

3. MOISTURE CONTROL - THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.

4. COMPACTION - CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION.

IF A MINIMUM REQUIRED DENSITY IS SPECIFIED, EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY.

FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, AND ANTISEEP COLLARS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY MEANS OF HAND TAMPING OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS. FILL ADJACENT TO CONCRETE STRUCTURES SHALL NOT BE COMPACTED UNTIL THE CONCRETE IS STRONG ENOUGH TO SUPPORT THE LOAD.

5. PROTECTION - A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS, SUCH AS MULCHES OR GRAVEL, MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OF PERMANENT VEGETATION. THE EMBANKMENT AND SPILLWAY SHALL BE FENCED IF NECESSARY TO PROTECT THE VEGETATION.

SEEDBED PREPARATION, SEEDING, FERTILIZING, AND MULCHING SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BMPs.

6. CONCRETE - THE MIX DESIGN AND TESTING OF CONCRETE SHALL BE CONSISTENT WITH THE STRENGTH REQUIREMENTS OF THE JOB. MIX REQUIREMENTS OR NECESSARY STRENGTH SHALL BE SPECIFIED. THE TYPE OF CEMENT, AIR ENTRAINMENT, SLUMP, AGGREGATE, OR OTHER PROPERTIES SHALL BE SPECIFIED IF NECESSARY. ALL CONCRETE IS TO CONSIST OF A WORKABLE MIX THAT CAN BE PLACED AND FINISHED IN AN ACCEPTABLE MANNER. NECESSARY CURING SHALL BE SPECIFIED. REINFORCING STEEL SHALL BE PLACED AS INDICATED ON THE PLANS AND SHALL BE HELD SECURELY IN PLACE DURING CONCRETE PLACEMENT. SUBGRADES AND FORMS SHALL BE INSTALLED TO LINE AND GRADE, AND THE FORMS SHALL BE MORTAR TIGHT AND UNYIELDING AS THE CONCRETE IS PLACED.

7. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO INFILTRATION BASINS.

8. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION BASIN.

9. AFTER THE BASIN IS EXCAVATED TO FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.

10. VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.

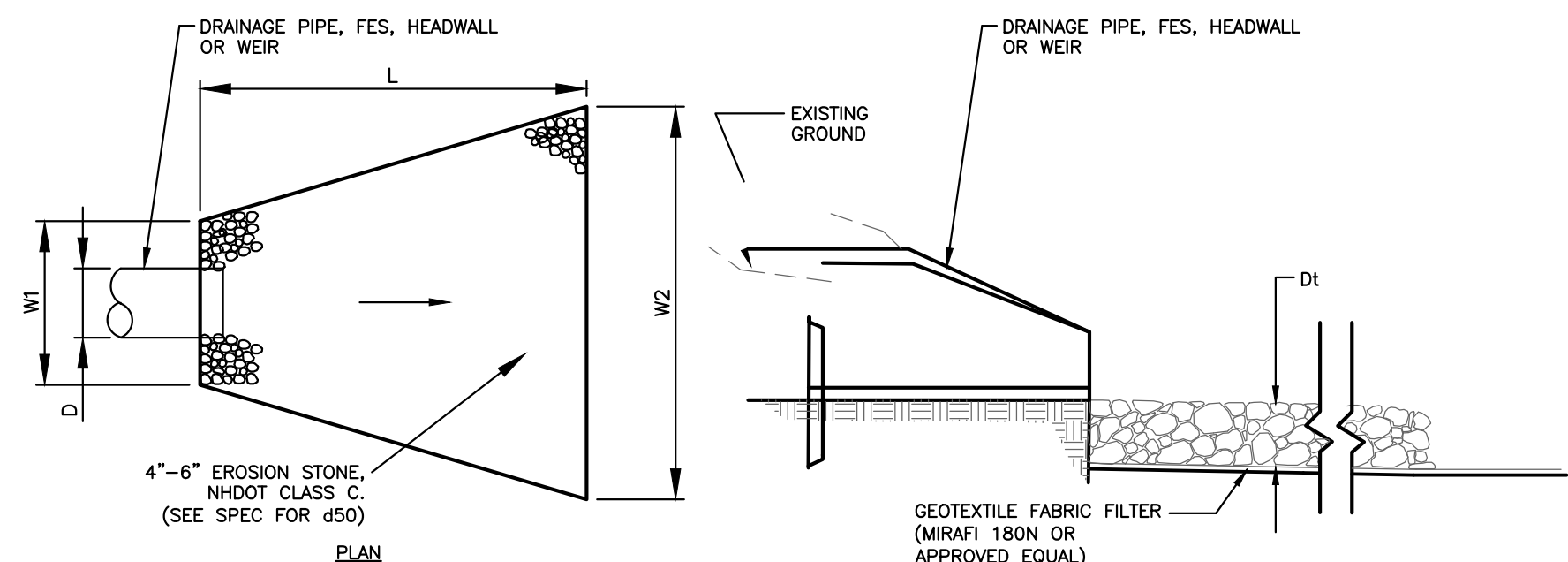
11. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

CONSTRUCTION NOTES:

1. THE SUBGRADE, GEOTEXTILE FABRIC, AND RIPRAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL USED FOR RIPRAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIPRAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIPRAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. THE MEDIAN STONE DIAMETER FOR THE RIPRAP APRON IS 450. FIFTY PERCENT BY WEIGHT OF THE RIPRAP MIXTURE SHALL BE SMALLER THAN THE MEDIAN STONE SIZE. THE LARGEST STONE SIZE IN THE MIXTURE SHALL BE 1.5 TIMES THE 450.

MAINTENANCE

1. THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM WITHIN THE GROWING STABILIZATION PERIOD. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.



| LOCATION | L _a | W ₁ | W ₂ | d ₅₀ | DEPTH |
|----------|----------------|----------------|----------------|-----------------|-------|
| FES-1 | 20' | 5' | 13' | 6" | 15" |
| FES-2 | 10' | 3' | 7' | 6" | 15" |
| FES-3 | 22' | 5' | 13' | 6" | 15" |
| FES-4 | 10' | 4' | 14' | 6" | 15" |
| FES-5 | 11' | 3' | 7' | 6" | 15" |
| FES-6 | 10' | 3' | 13' | 6" | 15" |
| FES-7 | 28' | 6' | 17' | 6" | 15" |
| FES-8 | 10' | 4' | 13' | 6" | 15" |
| FES-9 | 19' | 6' | 14' | 6" | 15" |

| ROCK RIP RAP GRADATION | | |
|---|-------------------------|--|
| % OF WEIGHT SMALLER THAN THE GIVEN SIZE | SIZE OF STONE IN INCHES | |
| 100 | 9.0 TO 12.0 | |
| 85 | 8.0 TO 10.8 | |
| 50 | 6.0 TO 7.5 | |
| 15 | 1.8 TO 3.0 | |

STONE LINED OUTLET PROTECTION

NOT TO SCALE

The Dubay Group, Inc.
 84 Range Road
 Windham, NH 03087
 603-458-6462

Engineers
 Planners
 Surveyors

TheDubayGroup.com

STATE OF NEW HAMPSHIRE
 DOUGLAS G. MacGUIRE
 No. 13325
 LICENSED PROFESSIONAL ENGINEER

| REV. | DATE | REVISIONS: | COMMENT: | BY: |
|------|----------|----------------------------|----------|-----|
| 1 | 11/19/19 | REVS PER TOWN COMMENTS | | SJK |
| 4 | 3/23/20 | REVISIONS PER AOT COMMENTS | | JMM |
| 5 | 4/28/20 | REVISIONS PER AOT COMMENTS | | JMM |
| 8 | 07/15/21 | REVISED LAYOUT | | JHD |
| 9 | 09/3/21 | REVISED PER TOWN COMMENTS | | JHD |

DRAWN BY: JHD
 CHECKED BY: DGM
 DATE: AUG. 21, 2019
 SCALE: NTS
 FILE: 364-DETAILS
 DEED REF: -

PROJECT:

MEGA-X

MAP 22 LOT 9-1
 OLD MANCHESTER ROAD
 RAYMOND, NH 03077

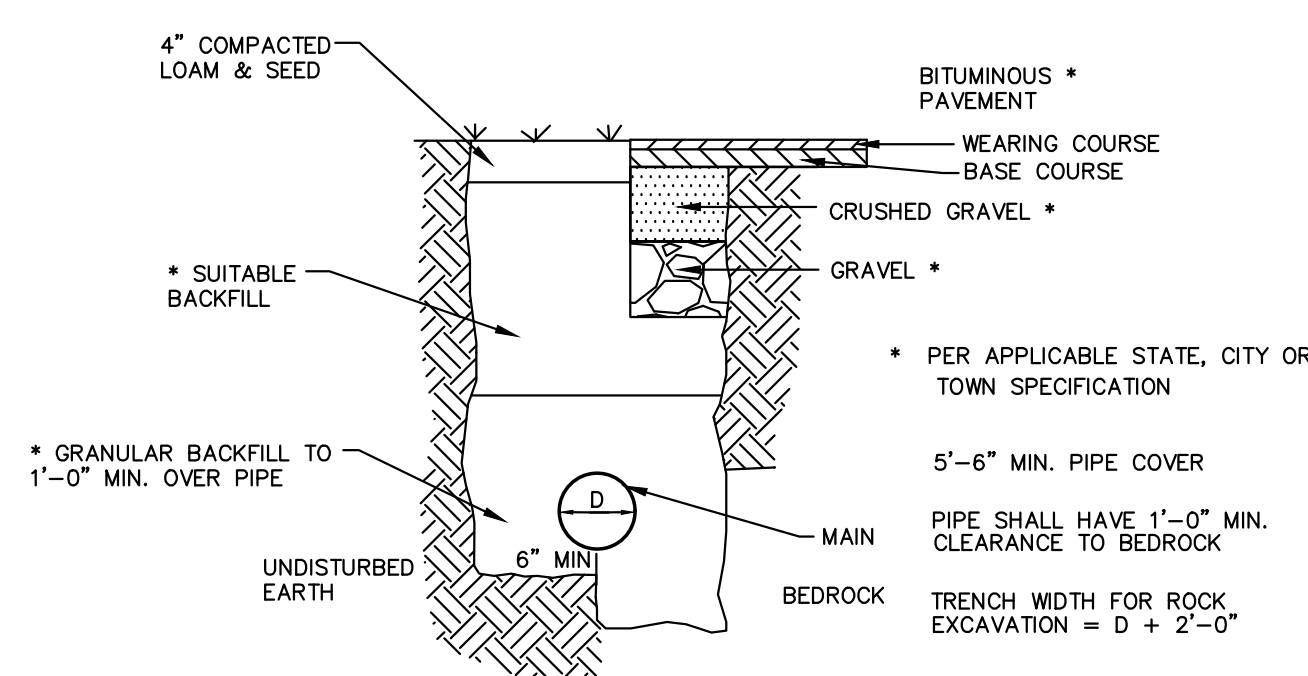
OWNER

NEW SUNSET REALTY, LLC
 73 MACINTOSH LANE
 BEDFORD, NH 03110

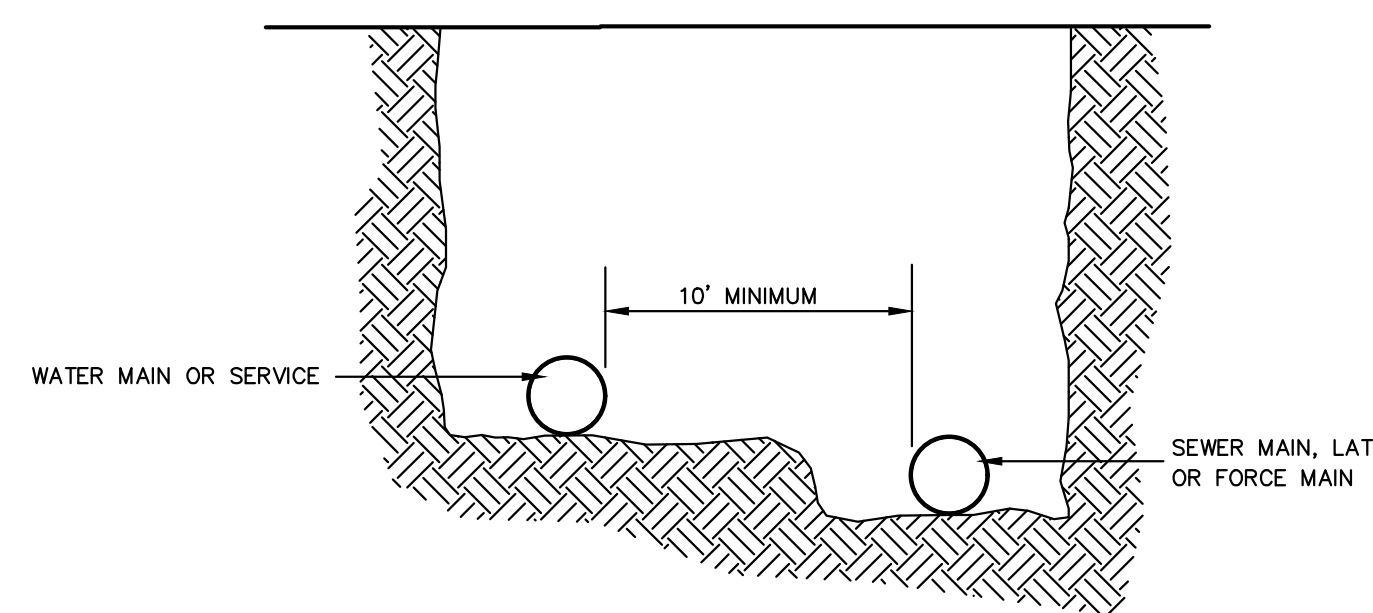
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SITE DETAILS - 6

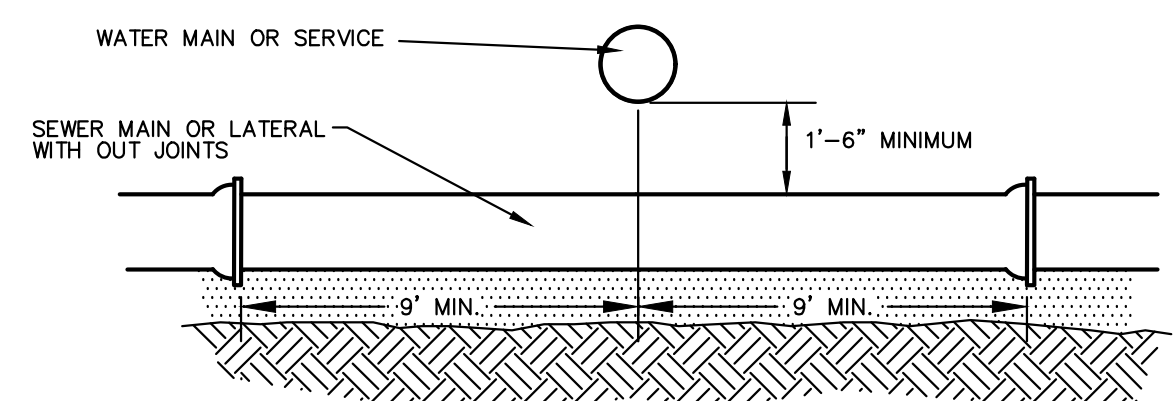
PROJECT #364 SHEET 18 of 21



TYPICAL WATER LINE TRENCH DETAIL
NOT TO SCALE

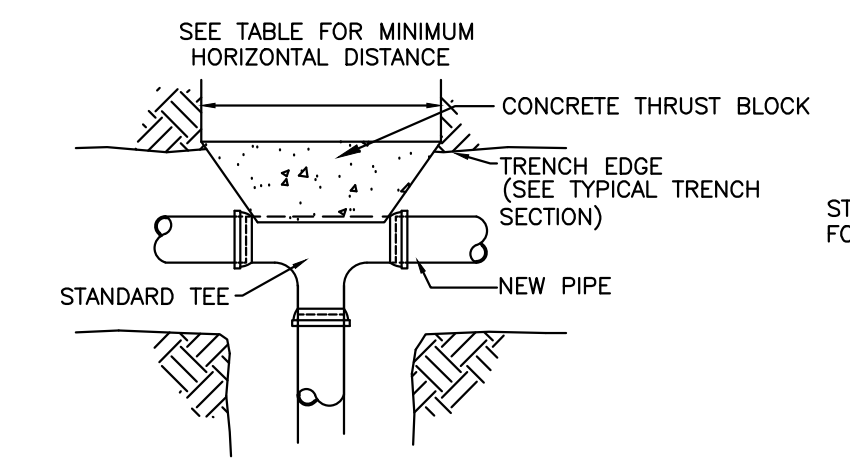


PARALLEL INSTALLATION

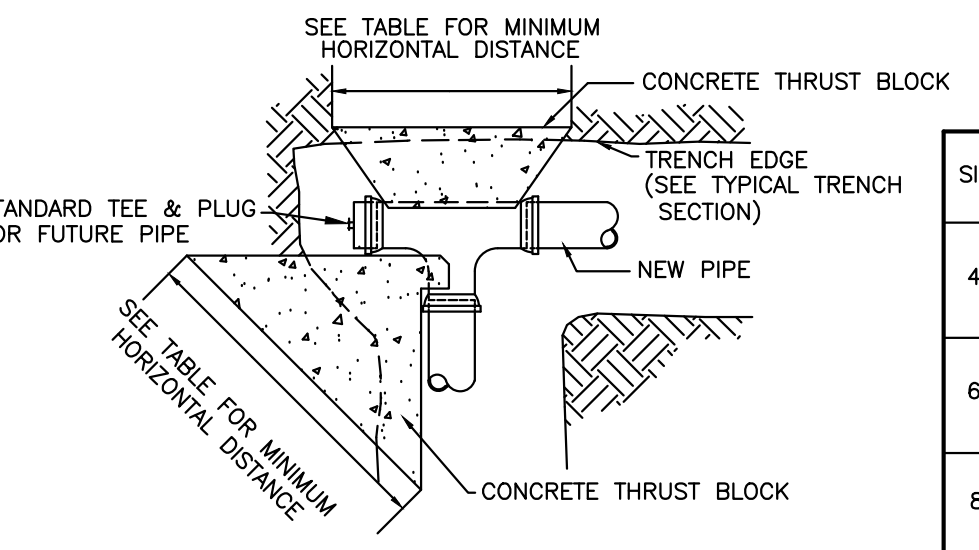


MAIN CROSSINGS

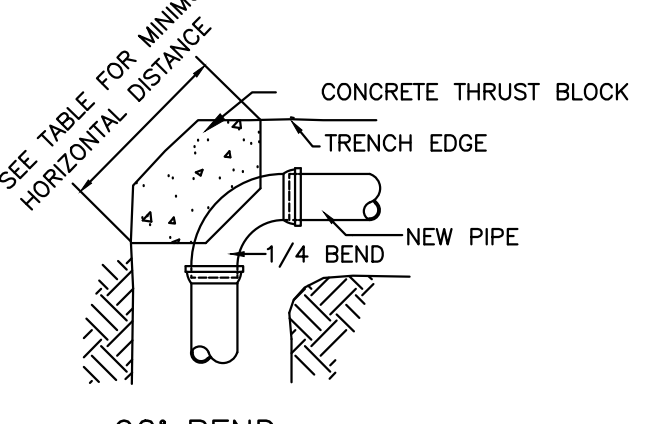
WATER PIPE/SEWER PIPE SEPARATION
NOT TO SCALE



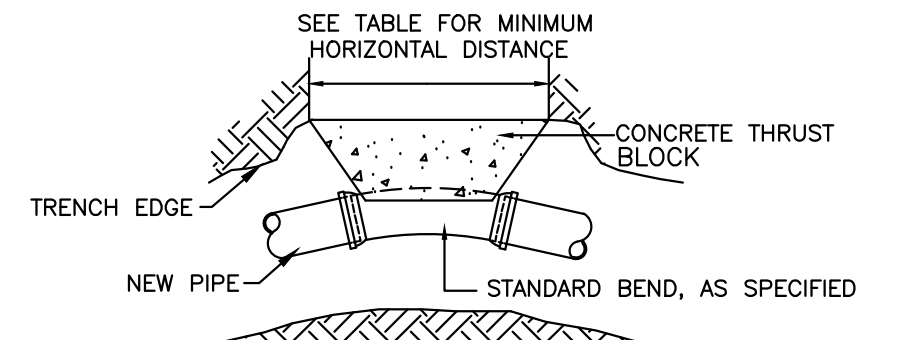
THRUST BLOCK-STANDARD TEE



THRUST BLOCK-STANDARD TEE & PLUG



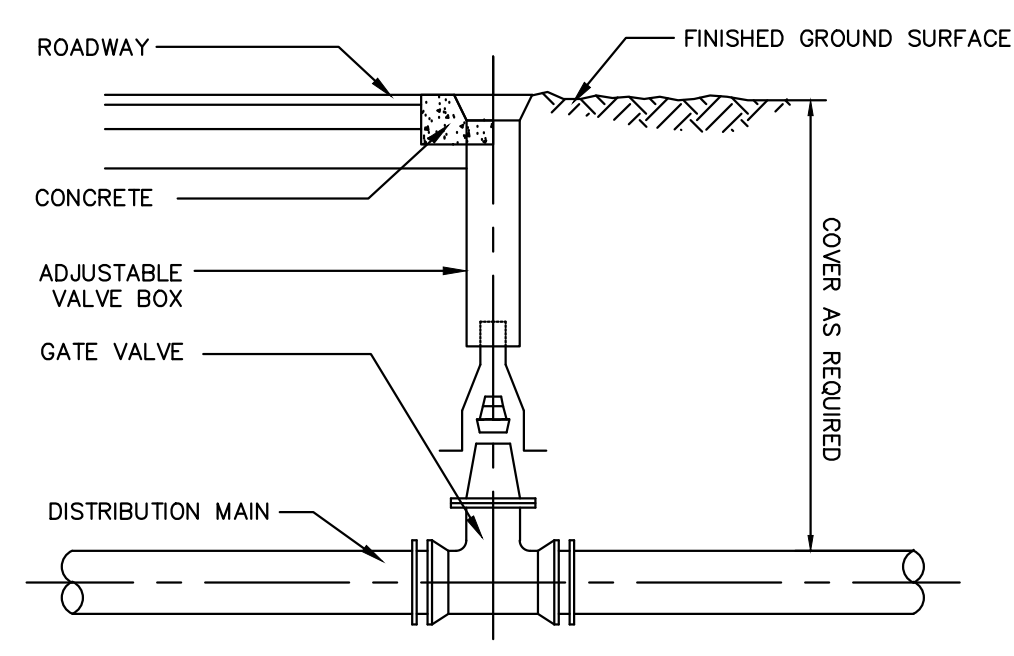
90° BEND



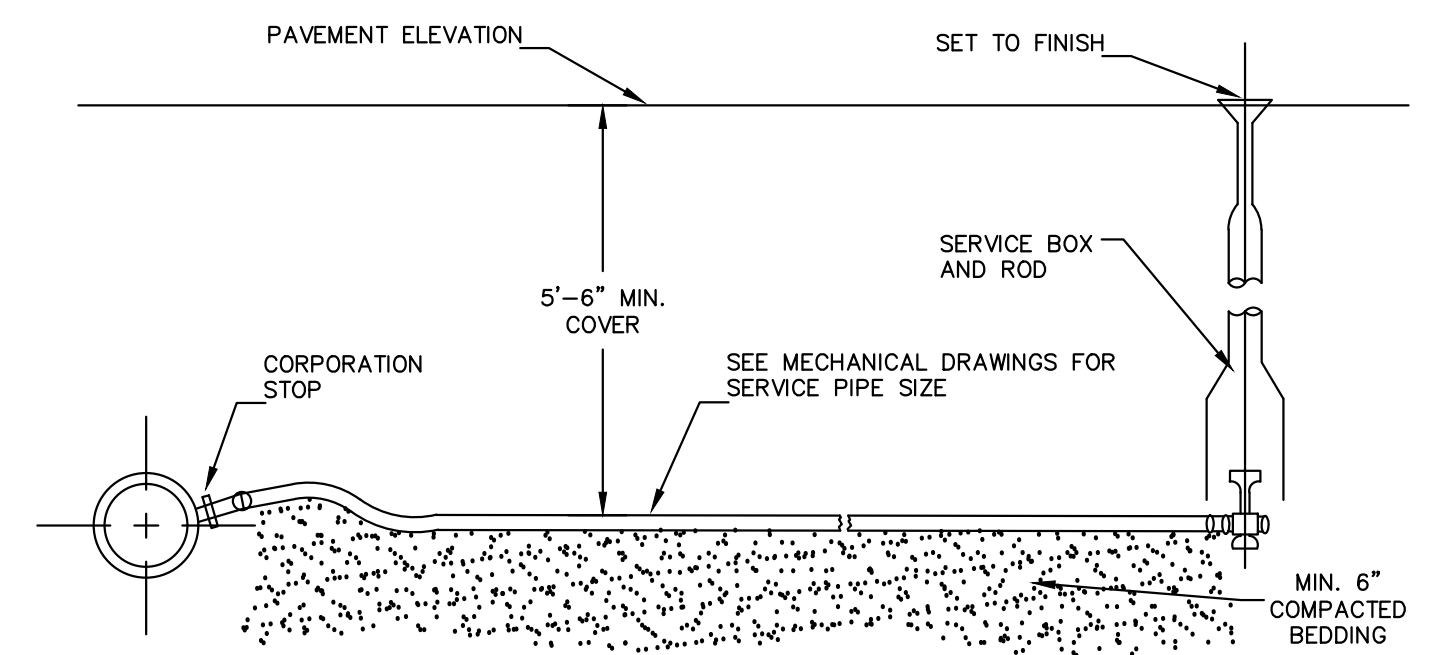
STANDARD BEND

THRUST BLOCK DETAIL
NOT TO SCALE

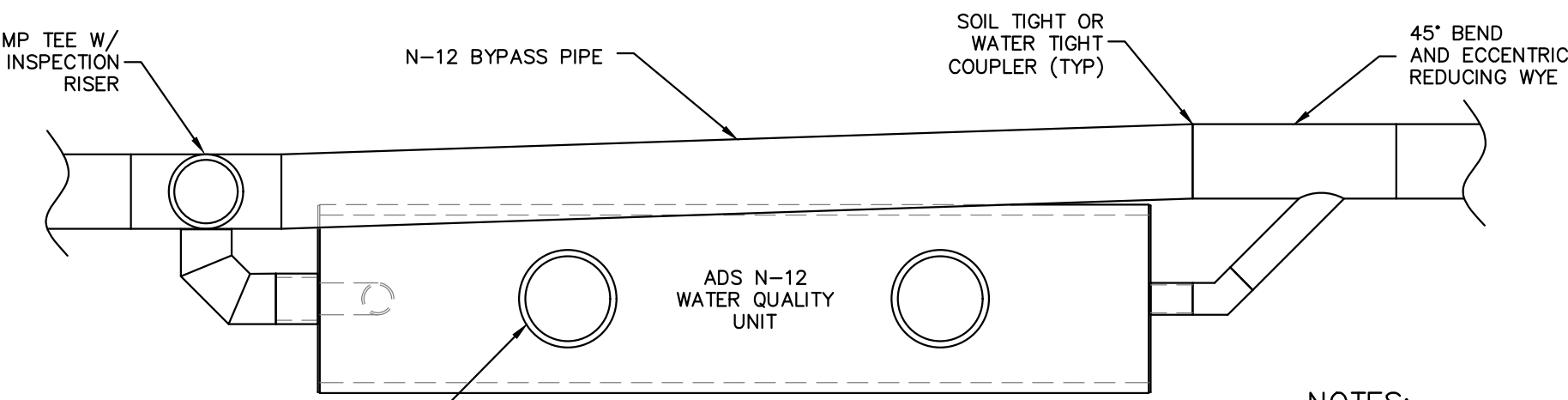
| SIZE | TYPE | HORIZONTAL DISTANCE | | VERTICAL DISTANCE |
|------|----------------------|---------------------|---------|-------------------|
| | | IN SAND OR GRAVEL | IN ROCK | |
| 4" | TEE BRANCH | 2'-0" | 2'-0" | 2'-0" |
| 4" | 90° BEND | 2'-0" | 2'-0" | 2'-0" |
| 4" | 45° BEND | 2'-0" | 2'-0" | 2'-0" |
| 4" | 22 1/2° BEND OR LESS | 2'-0" | 2'-0" | 2'-0" |
| 6" | TEE BRANCH | 2'-0" | 2'-0" | 2'-0" |
| 6" | 90° BEND | 2'-0" | 2'-0" | 2'-0" |
| 6" | 45° BEND | 2'-0" | 2'-0" | 2'-0" |
| 6" | 22 1/2° BEND OR LESS | 2'-0" | 2'-0" | 2'-0" |
| 8" | TEE BRANCH | 2'-6" | 2'-0" | 2'-6" |
| 8" | 90° BEND | 3'-0" | 2'-0" | 2'-0" |
| 8" | 45° BEND | 2'-6" | 2'-0" | 2'-0" |
| 8" | 22 1/2° BEND OR LESS | 2'-0" | 2'-0" | 2'-0" |
| 10" | TEE BRANCH | 3'-0" | 2'-0" | 3'-0" |
| 10" | 90° BEND | 3'-0" | 2'-0" | 3'-0" |
| 10" | 45° BEND | 2'-6" | 2'-0" | 2'-6" |
| 10" | 22 1/2° BEND OR LESS | 2'-0" | 2'-0" | 2'-0" |
| 12" | TEE BRANCH | 4'-0" | 3'-0" | 4'-0" |
| 12" | 90° BEND | 4'-0" | 3'-0" | 4'-0" |
| 12" | 45° BEND | 3'-6" | 2'-0" | 3'-0" |
| 12" | 22 1/2° BEND OR LESS | 2'-0" | 2'-0" | 2'-0" |
| 16" | TEE BRANCH | 4'-0" | 3'-0" | 4'-6" |
| 16" | 90° BEND | 5'-0" | 4'-0" | 5'-0" |
| 16" | 45° BEND | 4'-0" | 3'-0" | 4'-0" |
| 16" | 22 1/2° BEND OR LESS | 2'-0" | 2'-0" | 3'-0" |
| 20" | TEE BRANCH | 5'-0" | 3'-0" | 4'-0" |
| 20" | 90° BEND | 6'-0" | 4'-0" | 5'-0" |
| 20" | 45° BEND | 4'-6" | 3'-0" | 4'-6" |
| 20" | 22 1/2° BEND OR LESS | 3'-0" | 2'-0" | 3'-0" |



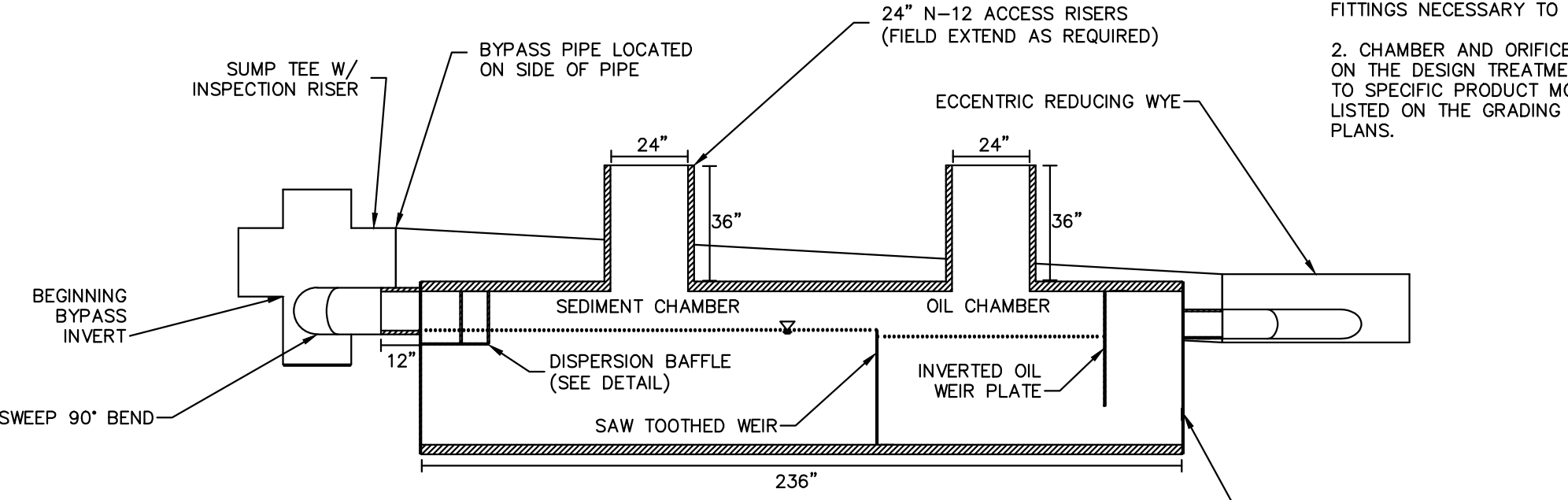
TYPICAL WATER & GAS GATE VALVE
NOT TO SCALE



TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE



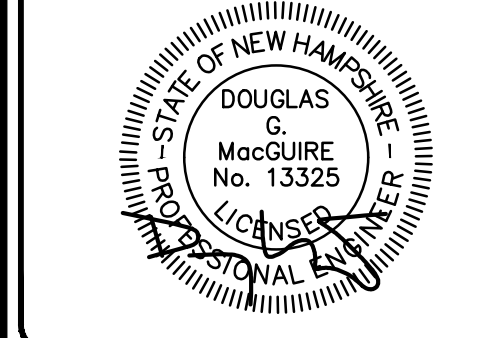
PLAN VIEW



ELEVATION VIEW

ADS WATER QUALITY UNIT (MODEL # 3620WQAXX)
NOT TO SCALE

NOTES:
1. THE WATER QUALITY UNIT (WQU) IS SUPPLIED FROM THE MANUFACTURER AS A PACKAGE AND INCLUDES ALL PIPING AND FITTINGS NECESSARY TO INSTALL THE SYSTEM.
2. CHAMBER AND ORIFICE SIZES ARE BASED ON THE DESIGN TREATMENT FLOW. REFER TO SPECIFIC PRODUCT MODEL NUMBER AS LISTED ON THE GRADING AND DRAINAGE PLANS.



| REVISIONS: | | | |
|------------|----------|------------------------|-----|
| REV. | DATE | COMMENT | BY |
| 1 | 11/19/19 | REVS PER TOWN COMMENTS | SJK |
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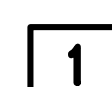


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CHECKED BY: DGM
DATE: AUG. 21, 2019
SCALE: NTS
FILE: 364-DETAILS
DEED REF: -

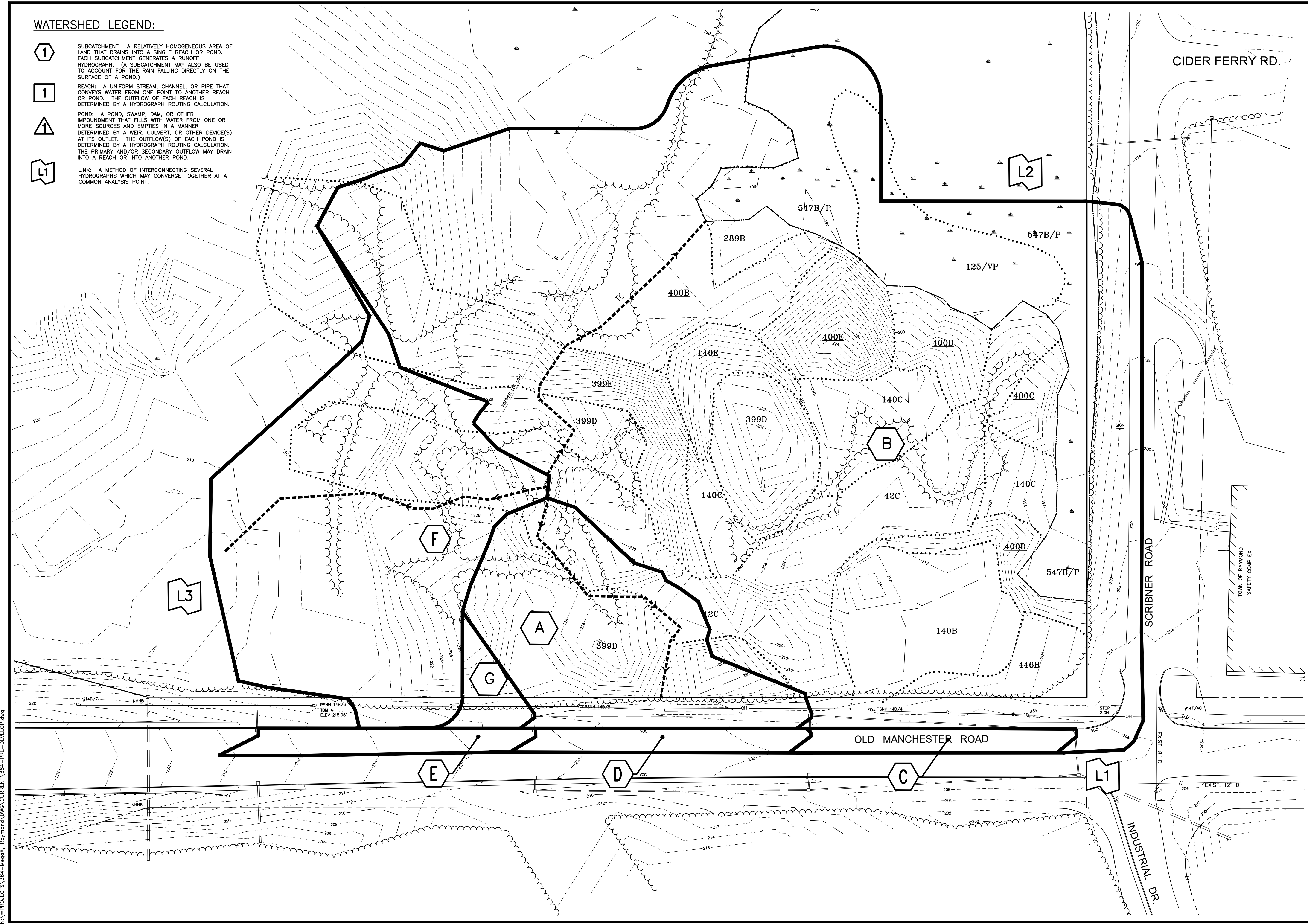
PROJECT:
MEGA-X
MAP 22 LOT 9-1
OLD MANCHESTER ROAD
RAYMOND, NH 03077
OWNER:
NEW SUNSET REALTY, LLC
73 MACINTOSH LANE
BEDFORD, NH 03110

SHEET TITLE:
SITE DETAILS - 7

N:\PROJECTS\364-MegaX-Raymond\DWG\CURRENT\364-DETAILS.dwg

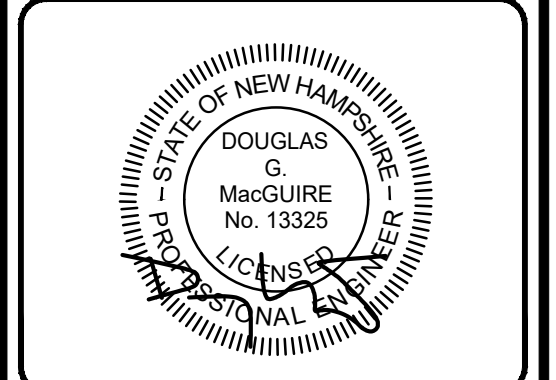
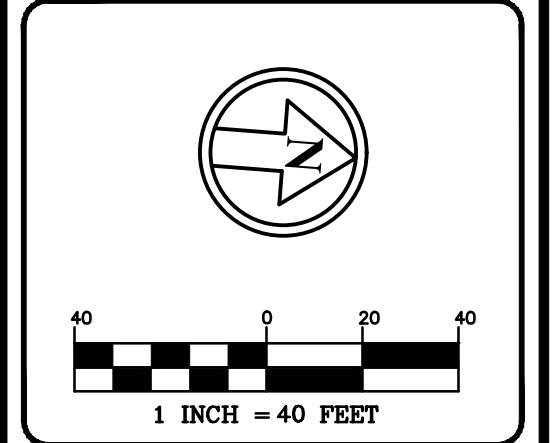
WATERSHED LEGEND:

-  SUBCATCHMENT: A RELATIVELY HOMOGENEOUS AREA OF LAND THAT DRAINS INTO A SINGLE REACH OR POND. EACH SUBCATCHMENT GENERATES A RUNOFF HYDROGRAPH. (A SUBCATCHMENT MAY ALSO BE USED TO ACCOUNT FOR THE RAIN FALLING DIRECTLY ON THE SURFACE OF A POND.)
-  REACH: A UNIFORM STREAM, CHANNEL, OR PIPE THAT CONVEYS WATER FROM ONE POINT TO ANOTHER REACH OR POND. THE OUTFLOW OF EACH REACH IS DETERMINED BY A HYDROGRAPH ROUTING CALCULATION.
-  POND: A POND, SWAMP, DAM, OR OTHER IMPOUNDMENT THAT FILLS WITH WATER FROM ONE OR MORE SOURCES AND EMPTIES IN A MANNER DETERMINED BY A WEIR, CULVERT, OR OTHER DEVICE(S) AT ITS OUTLET. THE OUTFLOW(S) OF EACH POND IS DETERMINED BY A HYDROGRAPH ROUTING CALCULATION. THE PRIMARY AND/OR SECONDARY OUTFLOW MAY DRAIN INTO A REACH OR INTO ANOTHER POND.
-  LINK: A METHOD OF INTERCONNECTING SEVERAL HYDROGRAPHS WHICH MAY CONVERGE TOGETHER AT A COMMON ANALYSIS POINT.



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 603-458-6462

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| REVISIONS: | | | |
|------------|----------|----------------------------|-----|
| REV. | DATE | COMMENT | BY: |
| 4 | 3/23/20 | REVISIONS PER AOT COMMENTS | JMM |
| 8 | 07/15/21 | REVISED LAYOUT | JHD |
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DRAWN BY: JHD
 CHECKED BY: DGM
 DATE: AUG. 21, 2019
 SCALE: 1"=40'
 FILE: 364-PRE-DEVELOP
 DEED REF: -





PROJECT:
MEGA-X
MAP 22 LOT 9-1
 OLD MANCHESTER ROAD
 RAYMOND, NH 03077
 OWNER:

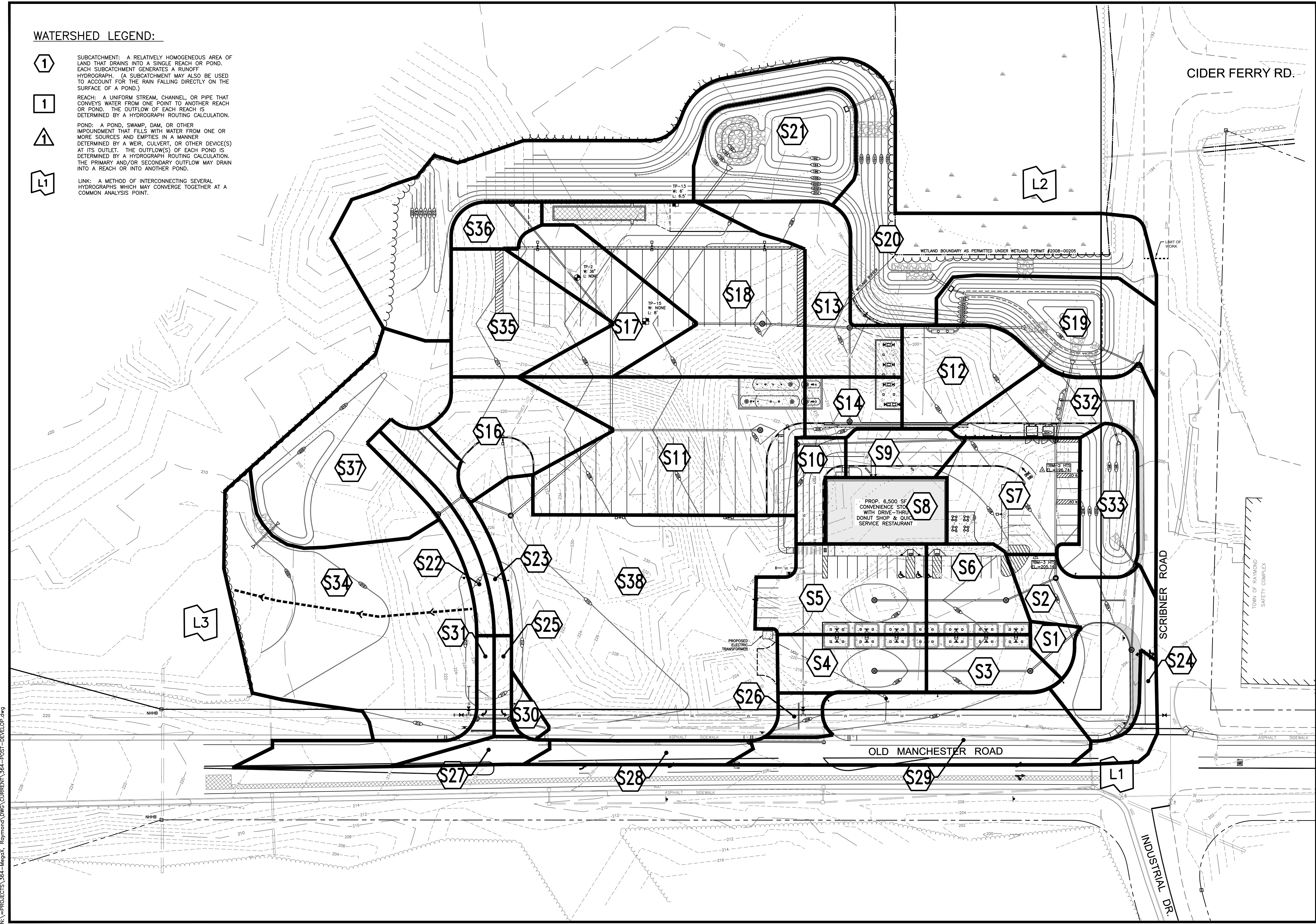
NEW SUNSET REALTY, LLC
 73 MACINTOSH LANE
 BEDFORD, NH 03110

SHEET TITLE:
**PRE-DEVELOPMENT
 WATERSHED
 PLAN**

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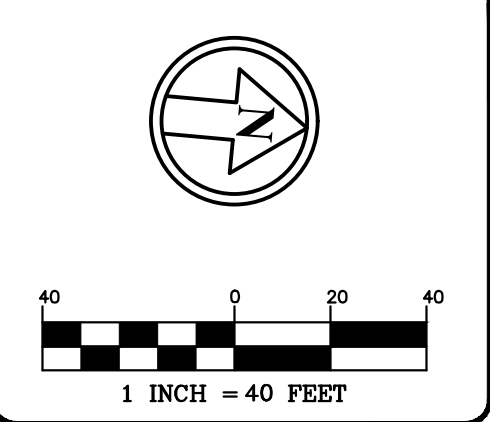
WATERSHED LEGEND:

-  SUBCATCHMENT: A RELATIVELY HOMOGENEOUS AREA OF LAND THAT DRAINS INTO A SINGLE REACH OR POND. EACH SUBCATCHMENT GENERATES A RUNOFF HYDROGRAPH. (A SUBCATCHMENT MAY ALSO BE USED TO ACCOUNT FOR THE RAIN FALLING DIRECTLY ON THE SURFACE OF A POND.)
-  REACH: A UNIFORM STREAM, CHANNEL, OR PIPE THAT CONVEYS WATER FROM ONE POINT TO ANOTHER REACH OR POND. THE OUTFLOW OF EACH REACH IS DETERMINED BY A HYDROGRAPH ROUTING CALCULATION.
-  POND: A POND, SWAMP, DAM, OR OTHER IMPOUNDMENT THAT FILLS WITH WATER FROM ONE OR MORE SOURCES AND EMPTIES IN A MANNER DETERMINED BY A WEIR, CULVERT, OR OTHER DEVICE(S) AT ITS OUTLET. THE OUTFLOW(S) OF EACH POND IS DETERMINED BY A HYDROGRAPH ROUTING CALCULATION. THE PRIMARY AND/OR SECONDARY OUTFLOW MAY DRAIN INTO A REACH OR INTO ANOTHER POND.
-  LINK: A METHOD OF INTERCONNECTING SEVERAL HYDROGRAPHS WHICH MAY CONVERGE TOGETHER AT A COMMON ANALYSIS POINT.

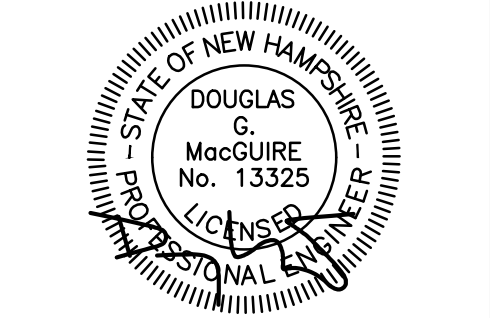



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 603-458-6462

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1 INCH = 40 FEET



STATE OF NEW HAMPSHIRE
 DOUGLAS G. MACGUIRE
 No. 13325
 LICENSED PROFESSIONAL ENGINEER

| REV. | DATE | COMMENT | BY |
|------|----------|------------------------------|-----|
| 1 | 11/19/19 | REVS PER TOWN COMMENTS | SJK |
| 3 | 12/13/19 | REVISIONS TO OFFSITE PLAN | DGM |
| 4 | 3/23/20 | REVISIONS PER AOT COMMENTS | JMM |
| 5 | 4/28/20 | REVS PER AOT & TOWN COMMENTS | JMM |
| 7 | 11/4/20 | REVISED WATER LINE | JMM |
| 8 | 07/15/21 | REVISED LAYOUT | JHD |

DRAWN BY: JHD
 CHECKED BY: DGM
 DATE: AUG. 21, 2019
 SCALE: 1"=40'
 FILE: 364-POST-DEVELOP
 DEED REF: -

PROJECT:
MEGA-X
 MAP 22 LOT 9-1
 OLD MANCHESTER ROAD
 RAYMOND, NH 03077
 OWNER:

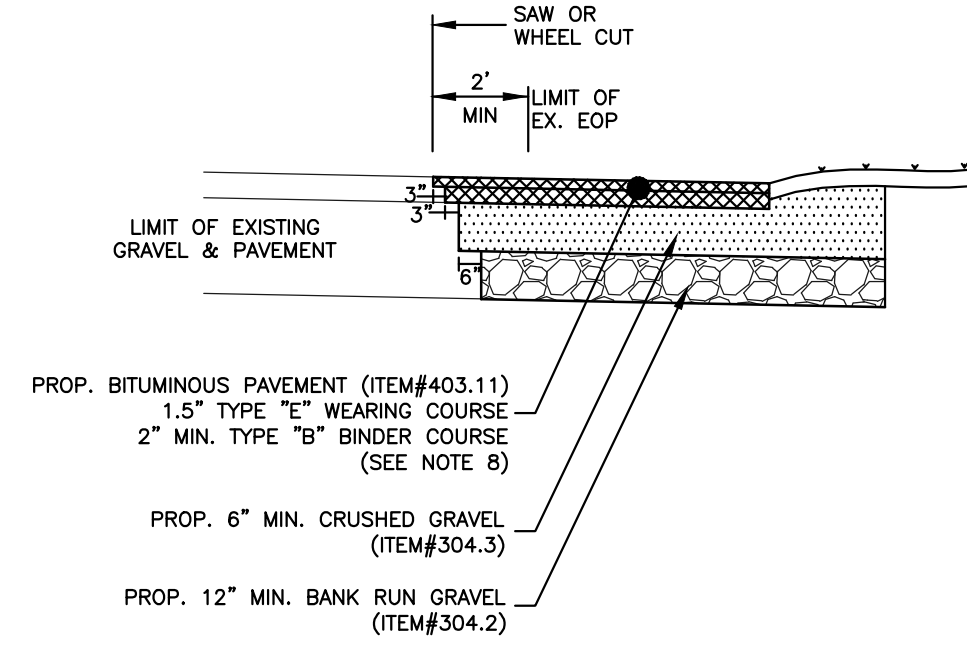
NEW SUNSET REALTY, LLC
 73 MACINTOSH LANE
 BEDFORD, NH 03110

SHEET TITLE:
**POST-DEVELOPMENT
 WATERSHED
 PLAN**

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GENERAL NOTES:

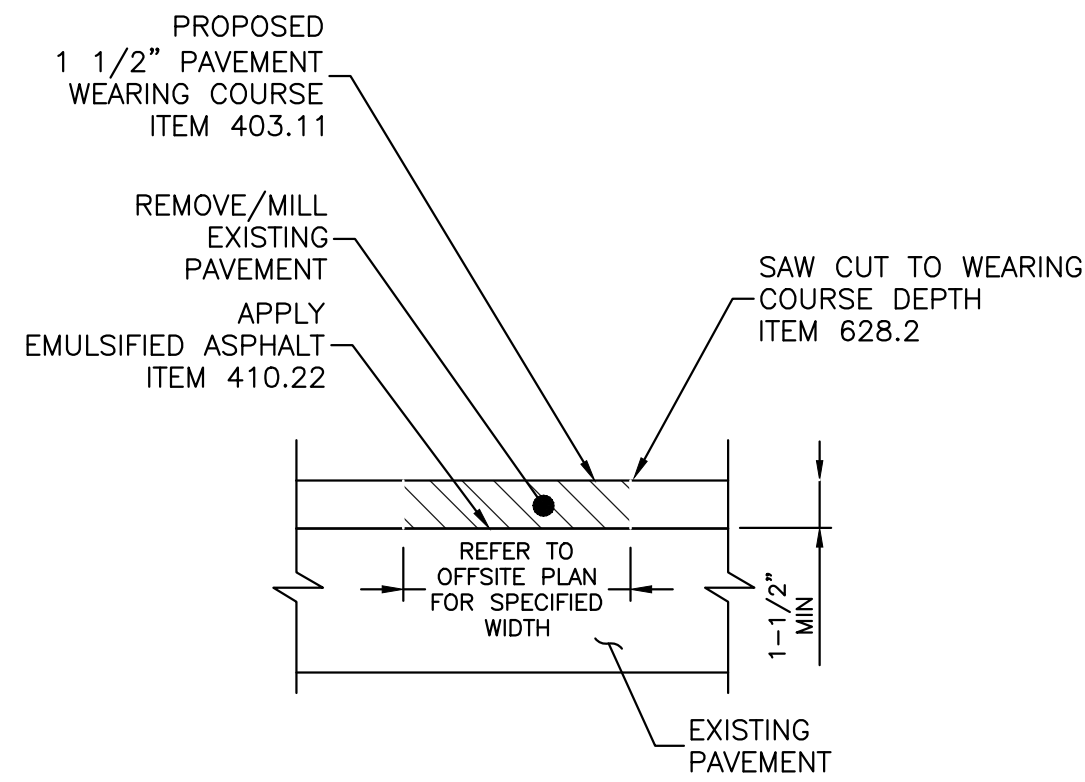
1. THE PURPOSE OF THIS PLAN IS TO DEPICT REQUIRED ROADWAY IMPROVEMENTS ASSOCIATED WITH THE PROPOSED GAS STATION DEVELOPMENT.
2. CONTRACTOR SHALL ABOUSH THE EXISTING PAINT MARKINGS AND RE-STRIPE WITHIN THE LIMITS OF WORK AS SHOWN.
3. AREAS OF FULL DEPTH PAVEMENT CONSTRUCTION AND AREAS REQUIRING MILL AND OVERLAY ARE NOTED ON THE PLAN. NO OTHER IMPROVEMENTS BESIDES PAINT REMOVAL AND RE-STRIPING ARE REQUIRED.
4. IMPROVEMENTS SHALL BE COORDINATED WITH THE TOWN OF RAYMOND DIRECTOR OF PUBLIC WORKS.



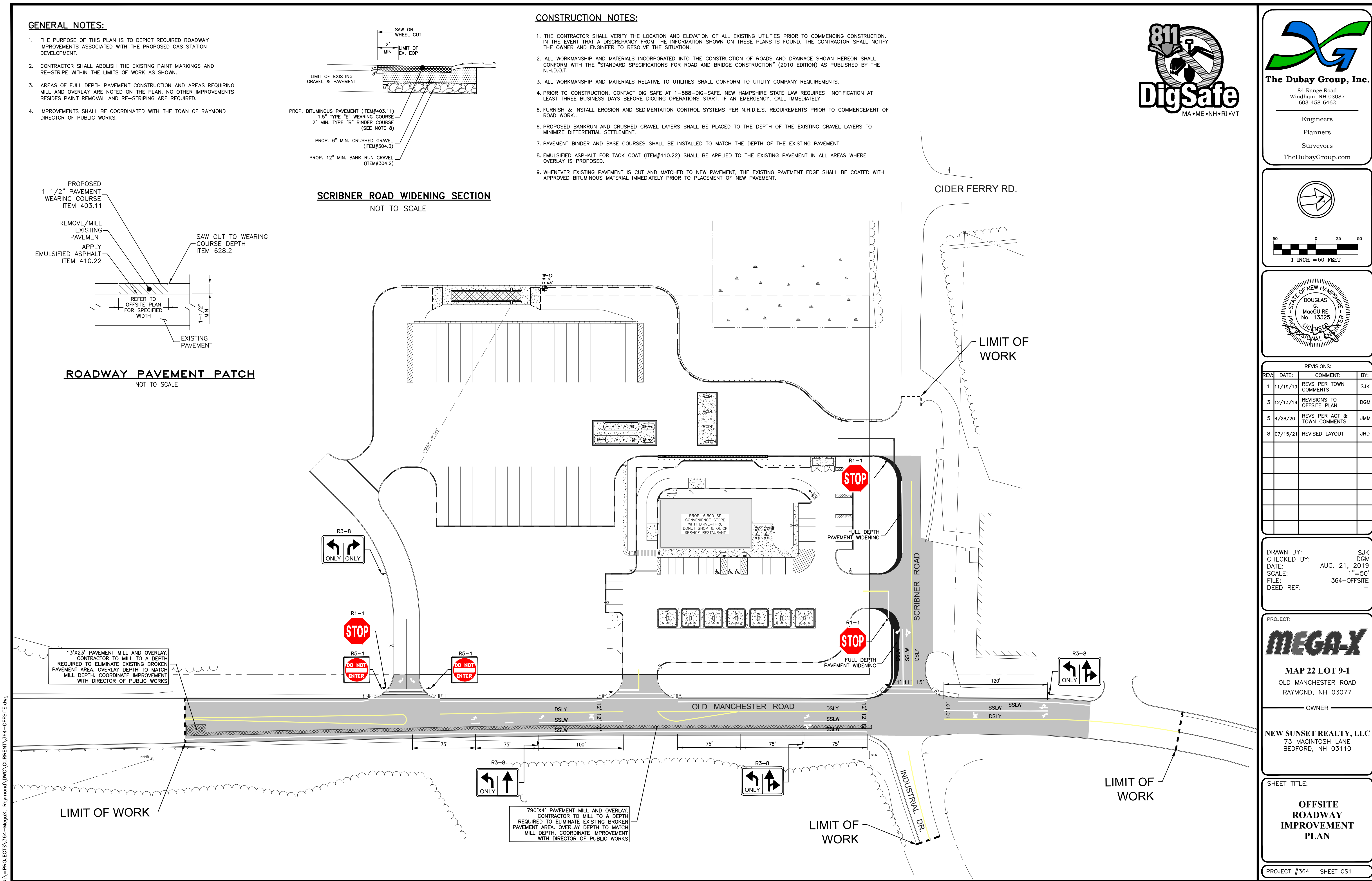
SCRIBNER ROAD WIDENING SECTION
NOT TO SCALE

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. IN THE EVENT THAT A DISCREPANCY FROM THE INFORMATION SHOWN ON THESE PLANS IS FOUND, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER TO RESOLVE THE SITUATION.
2. ALL WORKMANSHIP AND MATERIALS INCORPORATED INTO THE CONSTRUCTION OF ROADS AND DRAINAGE SHOWN HEREON SHALL CONFORM WITH THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (2010 EDITION) AS PUBLISHED BY THE N.H.D.O.T.
3. ALL WORKMANSHIP AND MATERIALS RELATIVE TO UTILITIES SHALL CONFORM TO UTILITY COMPANY REQUIREMENTS.
4. PRIOR TO CONSTRUCTION, CONTACT DIG SAFE AT 1-888-DIG-SAFE. NEW HAMPSHIRE STATE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE DIGGING OPERATIONS START. IF AN EMERGENCY, CALL IMMEDIATELY.
5. FURNISH & INSTALL EROSION AND SEDIMENTATION CONTROL SYSTEMS PER N.H.D.E.S. REQUIREMENTS PRIOR TO COMMENCEMENT OF ROAD WORK.
6. PROPOSED BANKRUN AND CRUSHED GRAVEL LAYERS SHALL BE PLACED TO THE DEPTH OF THE EXISTING GRAVEL LAYERS TO MINIMIZE DIFFERENTIAL SETTLEMENT.
7. PAVEMENT BINDER AND BASE COURSES SHALL BE INSTALLED TO MATCH THE DEPTH OF THE EXISTING PAVEMENT.
8. EMULSIFIED ASPHALT FOR TACK COAT (ITEM#410.22) SHALL BE APPLIED TO THE EXISTING PAVEMENT IN ALL AREAS WHERE OVERLAY IS PROPOSED.
9. WHENEVER EXISTING PAVEMENT IS CUT AND MATCHED TO NEW PAVEMENT, THE EXISTING PAVEMENT EDGE SHALL BE COATED WITH APPROVED BITUMINOUS MATERIAL IMMEDIATELY PRIOR TO PLACEMENT OF NEW PAVEMENT.

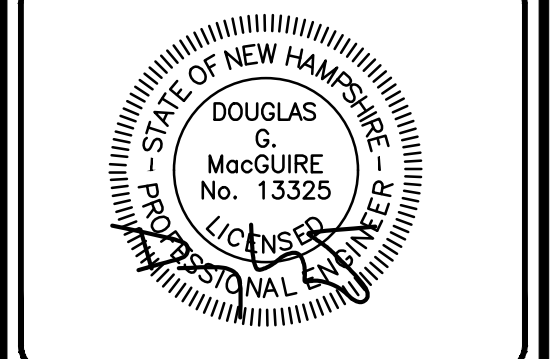
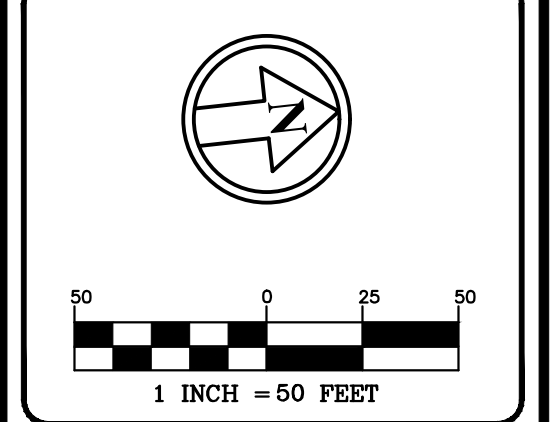


ROADWAY PAVEMENT PATCH
NOT TO SCALE



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REVISIONS:

| REV. | DATE | COMMENT | BY: |
|------|----------|------------------------------|-----|
| 1 | 11/19/19 | REVS PER TOWN COMMENTS | SJK |
| 3 | 12/13/19 | REVISIONS TO OFFSITE PLAN | DGM |
| 5 | 4/28/20 | REVS PER AOT & TOWN COMMENTS | JMM |
| 8 | 07/15/21 | REVISED LAYOUT | JHD |

DRAWN BY: SJK
CHECKED BY: DGM
DATE: AUG. 21, 2019
SCALE: 1"=50'
FILE: 364-OFFSITE
DEED REF: -



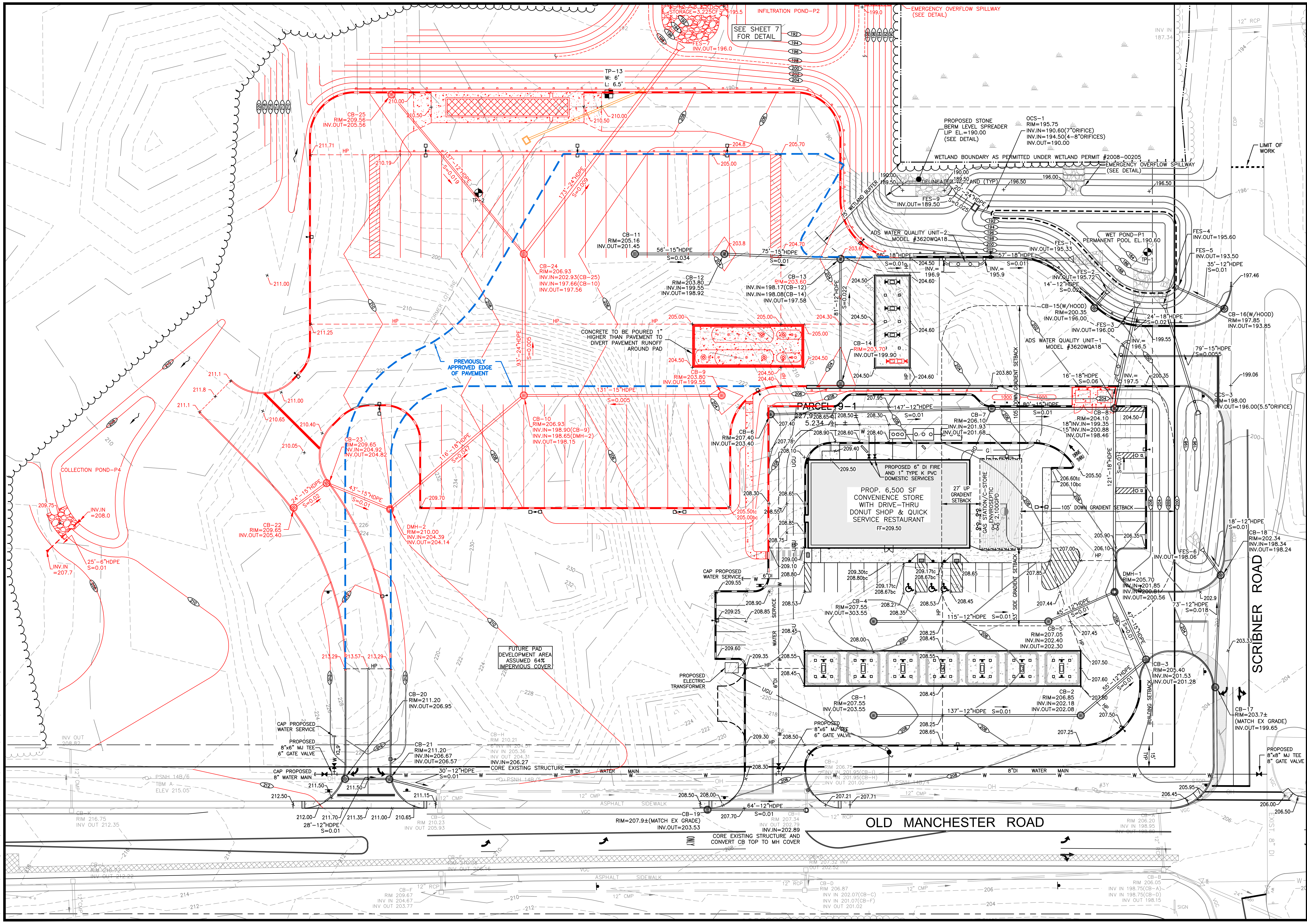
PROJECT:
MAP 22 LOT 9-1
OLD MANCHESTER ROAD
RAYMOND, NH 03077

OWNER:
NEW SUNSET REALTY, LLC
73 MACINTOSH LANE
BEDFORD, NH 03110

SHEET TITLE:
OFFSITE ROADWAY IMPROVEMENT PLAN

N:\PROJECTS\364-MegaX-Raymond\DWG\CURRENT\364-OFFSITE.dwg

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1 INCH = 30 FEET

| REV. | DATE | COMMENT | BY |
|------|----------|------------------------------|-----|
| 1 | 11/19/19 | REVS PER TOWN COMMENTS | SJK |
| 2 | 12/6/19 | REVS PER TOWN COMMENTS | SJK |
| 3 | 12/13/19 | REVISIONS TO OFFSITE PLAN | DGM |
| 4 | 3/23/20 | REVISIONS PER AOT COMMENTS | JMM |
| 5 | 4/28/20 | REVS PER AOT & TOWN COMMENTS | JMM |
| 6 | 6/23/20 | REVS PER TANK DESIGN & GC | SJK |
| 7 | 11/4/20 | REVISED WATER LINE | JMM |
| 8 | 07/15/21 | REVISED LAYOUT | JHD |

DRAWN BY: JHD
 CHECKED BY: DGM
 DATE: AUG. 21, 2019
 SCALE: 1"=30'
 FILE: 364-CU-Updated Layout Redline
 DEED REF: -

PROJECT:

MEGA-X

MAP 22 LOT 9-1
 OLD MANCHESTER ROAD
 RAYMOND, NH 03077

OWNER:

NEW SUNSET REALTY, LLC
 73 MACINTOSH LANE
 BEDFORD, NH 03110

SHEET TITLE:

GRADING, DRAINAGE & UTILITY PLAN - A

PROJECT #364 SHEET 6 of 21

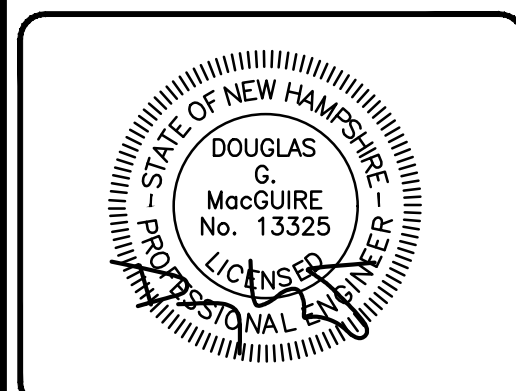
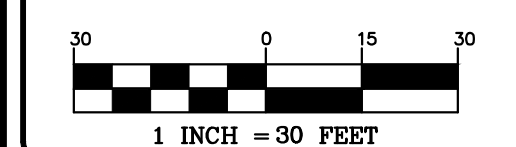
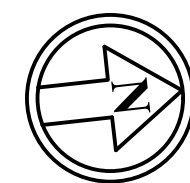


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Windham, NH 03087
603-458-6462

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Planners
Surveyors

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| REV. | DATE | REVISIONS: | BY: |
|------|----------|------------------------------|-----|
| 1 | 11/19/19 | REVS PER TOWN COMMENTS | SJK |
| 2 | 12/6/19 | REVS PER TOWN COMMENTS | SJK |
| 3 | 12/13/19 | REVISIONS TO OFFSITE PLAN | DGM |
| 4 | 3/23/20 | REVISIONS PER AOT COMMENTS | JMM |
| 5 | 4/28/20 | REVS PER AOT & TOWN COMMENTS | JMM |
| 6 | 6/23/20 | REVS PER TANK DESIGN & GC | SJK |
| 7 | 11/4/20 | REVISED WATER LINE | JMM |
| 8 | 07/15/21 | REVISED LAYOUT | JHD |

DRAWN BY: JHD
 CHECKED BY: DGM
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 SCALE: 1"=30'
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PROJECT:

MEGA-X

MAP 22 LOT 9-1
OLD MANCHESTER ROAD
RAYMOND, NH 03077

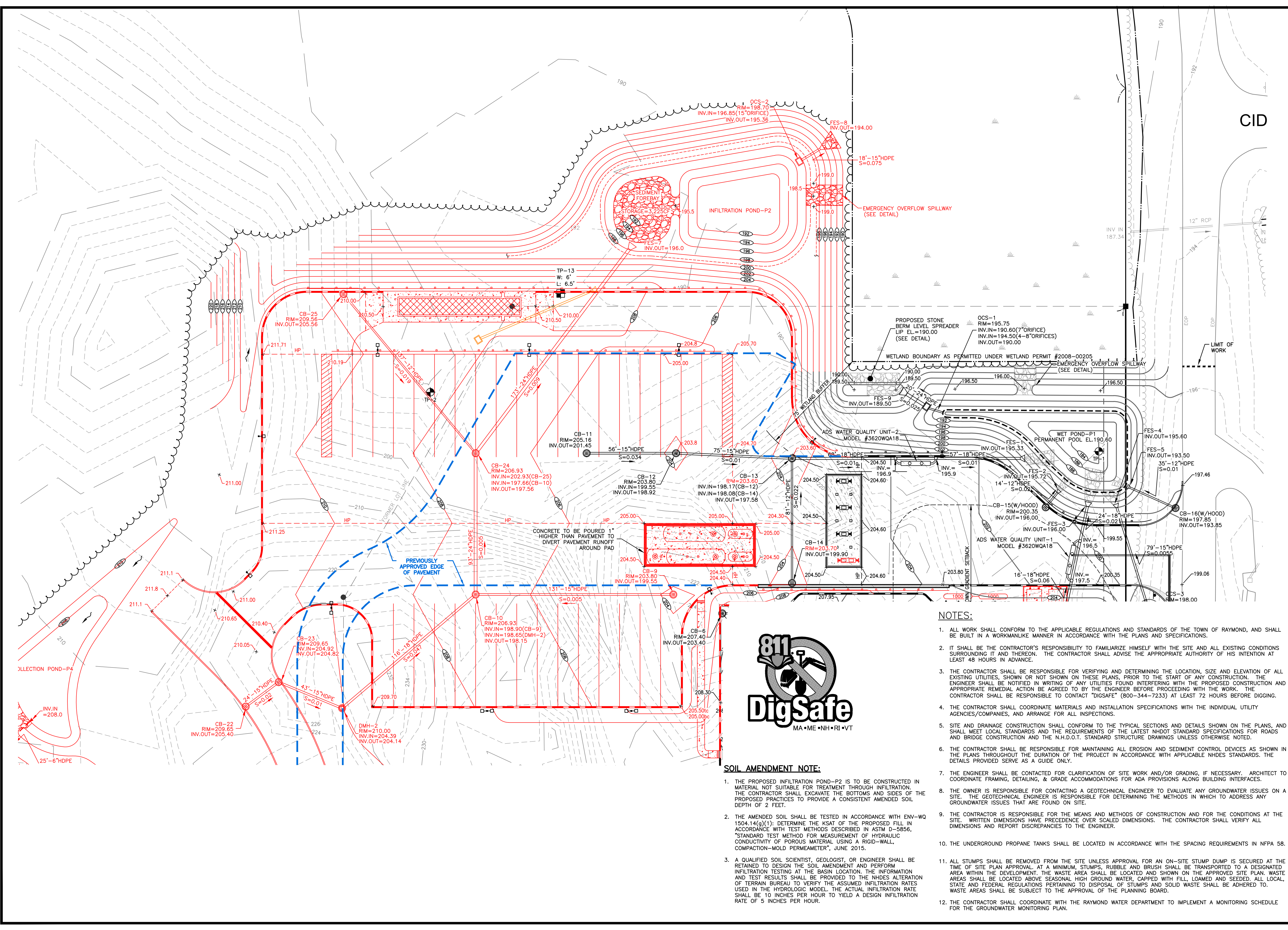
OWNER

NEW SUNSET REALTY, LLC
73 MACINTOSH LANE
BEDFORD, NH 03110

SHEET TITLE:

GRADIENT, DRAINAGE & UTILITY PLAN - B

PROJECT #364 SHEET 7 of 21



NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF RAYMOND, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS INTENTION AT LEAST 48 HOURS IN ADVANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (800-344-7233) AT LEAST 72 HOURS BEFORE DIGGING.
- THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
- SITE AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE N.H.D.O.T. STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN IN THE PLANS THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE NHDES STANDARDS. THE DETAILS PROVIDED SERVE AS A GUIDE ONLY.
- THE ENGINEER SHALL BE CONTACTED FOR CLARIFICATION OF SITE WORK AND/OR GRADING, IF NECESSARY. ARCHITECT TO COORDINATE FRAMING, DETAILING, & GRADE ACCOMMODATIONS FOR ADA PROVISIONS ALONG BUILDING INTERFACES.
- THE OWNER IS RESPONSIBLE FOR CONTACTING A GEOTECHNICAL ENGINEER TO EVALUATE ANY GROUNDWATER ISSUES ON A SITE. THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR DETERMINING THE METHODS IN WHICH TO ADDRESS ANY GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
- THE UNDERGROUND PROPANE TANKS SHALL BE LOCATED IN ACCORDANCE WITH THE SPACING REQUIREMENTS IN NFPA 58.
- ALL STUMPS SHALL BE REMOVED FROM THE SITE UNLESS APPROVAL FOR AN ON-SITE STUMP DUMP IS SECURED AT THE TIME OF SITE PLAN APPROVAL. AT A MINIMUM, STUMPS, RUBBLE AND BRUSH SHALL BE TRANSPORTED TO A DESIGNATED AREA WITHIN THE DEVELOPMENT. THE WASTE AREA SHALL BE LOCATED AND SHOWN ON THE APPROVED SITE PLAN. WASTE AREAS SHALL BE LOCATED ABOVE SEASONAL HIGH GROUND WATER, CAPPED WITH FILL, LOADED AND SEEDED. ALL LOCAL, STATE AND FEDERAL REGULATIONS PERTAINING TO DISPOSAL OF STUMPS AND SOLID WASTE SHALL BE ADHERED TO. WASTE AREAS SHALL BE SUBJECT TO THE APPROVAL OF THE PLANNING BOARD.
- THE CONTRACTOR SHALL COORDINATE WITH THE RAYMOND WATER DEPARTMENT TO IMPLEMENT A MONITORING SCHEDULE FOR THE GROUNDWATER MONITORING PLAN.

SOIL AMENDMENT NOTE:

- THE PROPOSED INFILTRATION POND-P2 IS TO BE CONSTRUCTED IN MATERIAL NOT SUITABLE FOR TREATMENT THROUGH INFILTRATION. THE CONTRACTOR SHALL EXCAVATE THE BOTTOMS AND SIDES OF THE PROPOSED PRACTICES TO PROVIDE A CONSISTENT AMENDED SOIL DEPTH OF 2 FEET.
- THE AMENDED SOIL SHALL BE TESTED IN ACCORDANCE WITH ENV-WQ 1504.14(g)(1); DETERMINE THE KSAT OF THE PROPOSED FILL IN ACCORDANCE WITH TEST METHODS DESCRIBED IN ASTM D-5856, "STANDARD TEST METHOD FOR MEASUREMENT OF HYDRAULIC CONDUCTIVITY OF POROUS MATERIAL USING A RIGID-WALL, COMPACTION-MOLD PERMEAMETER", JUNE 2015.
- A QUALIFIED SOIL SCIENTIST, GEOLOGIST, OR ENGINEER SHALL BE RETAINED TO DESIGN THE SOIL AMENDMENT AND PERFORM INFILTRATION TESTING AT THE BASIN LOCATION. THE INFORMATION AND TEST RESULTS SHALL BE PROVIDED TO THE NHDES ALTERATION OF TERRAIN BUREAU TO VERIFY THE ASSUMED INFILTRATION RATES USED IN THE HYDROLOGIC MODEL. THE ACTUAL INFILTRATION RATE SHALL BE 10 INCHES PER HOUR TO YIELD A DESIGN INFILTRATION RATE OF 5 INCHES PER HOUR.



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SUBDIVISION APPLICATION

Town of Raymond NH

Map # 24 Lot # 7 Application Date 8/18/21 Application # _____

Project Name: _____

Location: 35 Prescott Road

Project Description: 2 lot subdivision

Zone: B New Industrial / Commercial Square Footage: _____ or Number of Residential Units: 2

Applicant/Agent Information:

Name: Scott Cole Phone: 603-583-4860

Company: Beals Associates Fax: _____

Address: 70 Portsmouth Ave. Stratham, NH 03885

Signed*:  Date: 8-16-21

***Requires notarized letter of permission.**

By signing this application, you are agreeing to all rules and regulations of the Town of Raymond, and are agreeing to allow agents of the Town of Raymond to conduct inspections, during normal business hours to ensure compliance with all Raymond Zoning and Site Review regulations while your application is under consideration and during any construction and operational phases after approval is granted.

Owner Information:

Name: Evan Young & Cathrine Winter Phone: 603-475-5574

Company: _____ Fax: _____

Address: 35 Prescott Road

Signed:  Date: 8/17/21

Designers of Record:

Engineer: Beals Associates

Surveyor: David Vincent, Land Surveying Services

Soil Scientist: Gove Environmental Services Inc.

Landscape Architect: n/a

Fees: See Attached Fee Schedule

FOR OFFICE USE ONLY

Date Application Received: _____ Total Fees Collected with Application: \$ _____ *Abutters*

List Received: _____ Check List Received: _____

PB Hearing Date: _____ Notice Date: _____

PB Application Acceptance Date: _____



TOWN OF RAYMOND

Community Development Department
Office of Planning & Zoning
4 Epping Street
Raymond, NH 03077

Tel: (603) 895-7018
Fax: (603) 895-7064
<http://www.raymondnh.gov>

NOTICE OF DECISION

GRANTED

Raymond Zoning Board of Adjustment

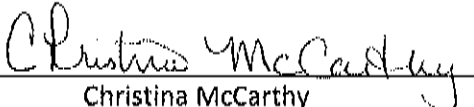
Date of Decision: September 25, 2019

Application No: 2019-003

1. You are hereby notified that the Raymond Zoning Board of Adjustment has **GRANTED** a variance to Beals Associates on behalf of Even Young and Cathrine Winter for property identified as Raymond Tax Map 24 Lot 7 located at 35 Prescott Road within Zone B for relief from **Article 15 Section 15.1.1** Minimum lot size requirements- Zone B requires minimum of 2 acres.

Conditions:

- 1. N/A
- 2. N/A
- 3. N/A


Christina McCarthy
Planning Technician

9/26/19
Date

NOTE: In accordance with the Raymond Zoning Ordinance, Section 9.5.2, this variance shall only be valid for a period of four (4) years from the date of this decision. If this time period is to lapse with substantial completion of any improvements, modifications, alterations or other changes in the property for which this approval was granted not having taken place, then the applicant may seek an extension to this time period per Section 9.5.3.

The Selectmen, any party to the action or any person directly affected has a right to appeal this decision within thirty (30) days of the date of decision. See New Hampshire Revised Statutes Annotated, Chapter 677, available at the Town Clerk's Office during regular business hours. This notice has been placed on file and made available for public inspection in the records of the Zoning Board of Adjustment.



TOWN OF RAYMOND

Community Development
Department Office of Planning &
Zoning
4 Epping Street
Raymond, NH 03077

Tel: (603) 895-7018
Fax: (603) 895-7064
<http://www.raymondnh.gov>

NOTICE OF DECISION

GRANTED

Raymond Zoning Board of Adjustment

Date of Decision: February 24, 2021

Application No: 2020-014

You are hereby notified that the Raymond Zoning Board of Adjustment has **GRANTED** a Variance to Evan Young for property identified as Raymond Tax Map 24 / Lot 7, located at 35 Prescott Rd., Raymond NH, 03077 within Zone B for relief from **Article 15 Section 3.1** Special Requirements in Zone G.

Conditions:

1. The Conservation Commission recommendations should be followed for any future lots created, a vegetative buffer of 75 ft around the Shoreland Protective Zone (see attached)
2. No lot created by the Subdivision shall have less than 33,000 sq ft of upland
3. _____

Stephanie Gardner

03/01/2021

Stephanie Gardner
Planning Technician

Date

NOTE: In accordance with the Raymond Zoning Ordinance, Section 9.5.2, this variance shall only be valid for a period of four (4) years from the date of this decision. If this time period is to lapse with substantial completion of any improvements, modifications, alterations or other changes in the property for which this approval was granted not having taken place, then the applicant may seek an extension to this time period per Section 9.5.3.

The Selectmen, any party to the action or any person directly affected has a right to appeal this decision within thirty (30) days of the date of decision. See New Hampshire Revised Statutes Annotated, Chapter 677, available at the Town Clerk's Office during regular business hours. This notice has been placed on file and made available for public inspection in the records of the Zoning Board of Adjustment.



RAYMOND CONSERVATION COMMISSION

4 EPPING STREET, RAYMOND, NEW HAMPSHIRE 03077
(603) 895-7017

January 25, 2021

TO: Zoning Board of Adjustment

RE: Tax Map 24, Lot 7- 35 Prescott Road – Zone G variance

This letter is in reference to a zoning variance submitted on the above property. The conservation commission reviewed the application and the plan at the January 20, 2021 meeting and has the following questions/comments.

1. Conservation commission members observed a stream between the proposed new lot and the abutter. The stream and the 75-foot setback are not noted on the plan and the board members questioned whether the stream meets the criteria in 4.9.3.1, and would that change the available buildable area for the new lot.

4.9.3.1. SHORELAND PROTECTION AREA: Is any area of land within seventy-five (75) feet of the seasonal high-water mark of any river, brook, stream, pond or lake as shown on the Water Resource Management Plan (3/2009). Also includes any area of land within seventy-five (75) feet of the high-water mark of any river, brook, stream, pond, or lake having flowing or standing water for six (6) months of the year not included in Water Resource Management Plan (3/2009)

2. According to the plan, post subdivision of the lot creates a contiguous area of 34,060 sq. feet for the lot with the existing home. This results in less than 40,000 square feet of buildable area. Does this create a situation where the buildable area for the existing home also requires a variance?
3. If the ZBA grants this variance, the board recommends a vegetative buffer be maintained in the Zone G area according to 4.9.1.7

4.9.1.7. Encourage the preservation and/or restoration of Raymond's Shoreland Protection Area as a natural vegetated shoreland buffer to filter sediment and pollutants from runoff and thus help protect the town's water quality.

Please read our letter into the record when the case is heard.

Thank You,

Raymond Conservation Commission
conscomchair@raymondnh.gov



TEST PIT DATA

Project Young, Prescott Road, Epping

5/7/21 & 5/19/21

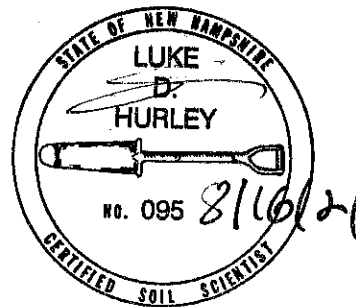
LDH

| Test Pit No. 4 | | | | Lot No.: | | |
|-----------------------|---------|---------|-----------|--------------|----------------------------|--|
| ESHWT:N/A | | | | WSPCD Group: | | |
| Termination @40" | | | | Roots to: | | |
| Refusal:None | | | | SCS Soil: | | |
| Obs. Water:None | | | | | | |
| Depth | Color | Texture | Structure | Consistence | Mottles; Quantity/Contrast | |
| 0-8 | 10YR3/2 | FSL | GR | FR | | |
| 8-14 | 10YR5/6 | FSL | GR | FR | | |
| 14-26 | 10YR4/4 | FSL | GR | FR | | |
| 26-40 | 2.5Y4/4 | FSL | GR | FR | | |

| Test Pit No. 5 | | | | Lot No.: | | |
|-----------------------|---------|---------|-----------|--------------|----------------------------|--|
| ESHWT:N/A | | | | WSPCD Group: | | |
| Termination @44" | | | | Roots to: | | |
| Refusal:None | | | | SCS Soil: | | |
| Obs. Water:None | | | | | | |
| Depth | Color | Texture | Structure | Consistence | Mottles; Quantity/Contrast | |
| 0-6 | 10YR3/2 | FSL | GR | FR | | |
| 6-14 | 10YR5/4 | FSL | GR | FR | | |
| 14-28 | 10YR4/6 | FSL | GR | FR | | |
| 28-44 | 10YR5/6 | FSL | GR | FR | | |

| Test Pit No. 6 | | | | Lot No.: | | |
|-----------------------|---------|---------|-----------|--------------|----------------------------|--|
| ESHWT:N/A | | | | WSPCD Group: | | |
| Termination @40" | | | | Roots to: | | |
| Refusal:None | | | | SCS Soil: | | |
| Obs. Water:None | | | | | | |
| Depth | Color | Texture | Structure | Consistence | Mottles; Quantity/Contrast | |
| 0-6 | 10YR3/2 | FSL | GR | FR | | |
| 6-12 | 10YR5/6 | FSL | GR | FR | | |
| 12-24 | 10YR3/6 | FSL | GR | FR | | |
| 24-40 | 10YR4/4 | FSL | GR | FR | | |

| Test Pit No. 7 | | | | Lot No.: | |
|-----------------------|---------|---------|-----------|--------------|----------------------------|
| ESHWT:36" | | | | WSPCD Group: | |
| Termination @40" | | | | Roots to: | |
| Refusal:None | | | | SCS Soil: | |
| Obs. Water:None | | | | | |
| Depth | Color | Texture | Structure | Consistence | Mottles; Quantity/Contrast |
| 0-12 | 10YR3/2 | FSL | GR | FR | |
| 12-24 | 10YR4/4 | FSL | GR | FR | |
| 24-36 | 10YR4/6 | FSL | GR | FR | |
| 36-40 | 2.5Y5/3 | FSL | GR | FR | 15% Concentrations |



Memo To: Town of Raymond Planning Board

From: Madeleine DiIunno, Regional Planner, Rockingham Planning Commission

Date: September 10, 2021

Subject: Review of Application 2021-013: Subdivision Application – 35 Prescott Road, Raymond, NH 03077 (Tax Map 24 Lot 7)

The applicant is proposing to subdivide a 4.89 -acre lot at 35 Prescott Road into two lots, one being 3.02 acres and the other 1.87 acres. The lot is located in Zone B (Residential/Agriculture) as well as the Conservation and the Groundwater Protection Overlay Districts. On September 25th, 2019, the Raymond Zoning Board of Adjustment granted a variance for Article 15 Section 15.1.1 – Minimum Lot Size Requirements for lot 7-2 (lot size requirement in Zone B is 2 acres). A second variance was granted on February 24th, 2021, for relief from Article 15 Section 3.1 – Special Requirements in Zone G (minimum usable area of non-Zone G land). NHDES subdivision approval for the septic system is pending. My specific comments are as follows:

1. The application meets completeness requirements for the Board's further consideration. The Board should invoke jurisdiction before taking further action.
2. The Board may wish to seek clarification on the size of the existing gravel driveway and whether it will be shared by both lots, in which case an easement may be required.
3. It would be beneficial to know the location of any proposed structure and septic system in Lot 7-2. If the proposed structure is located within wetlands or shoreland protection buffers, a special permit is required per Article 4.9.5.
4. Sheet 3 shows something attached to the existing Duplex within the 30' setback. Is this a structure? If so, it does not meet Zoning.
5. The northwesterly end of the new lot line needs to indicate type of monument to be set (or has been set)
6. The "shed" on the new lot is within the 30' setback and should be moved or removed.
7. If wetlands and soils were mapped/identified by relevant professionals, their stamps should be affixed to the plan.
8. An Easement for the Well should be provided on the final Plan and deeds.

RE: 35 Prescott Road Subdivision Review

Scott Cole <SCole@bealsassociates.com>

Fri 9/10/2021 10:34 AM

To: Madeleine Dilonno <mdiionno@therpc.org>; Evan Young (eyoung@thegovegroup.com)
<eyoung@thegovegroup.com>

Cc: Christina McCarthy <cmccarthy@raymondnh.gov>; Brenden Walden (bwalden@gesinc.biz)
<bwalden@gesinc.biz>

Hello again, The portion as discussed that I thought was a garage is actually only a parking area consisting of pavers with no structure so we do meet all setbacks. Sorry for the confusion.

**Scott D. Cole****Senior Project Manager****Beals Associates, PLLC.****70 Portsmouth, Ave. 3rd Floor****Stratham, NH 03885****603-583-4860****603-583-4863****scole@bealsassociates.com**

The information contained in the email is confidential and intended for the individual or company named above. No Drawings issued electronically shall be used for construction purposes. All electronic media is provided out of courtesy only and may not be used for publication, distribution or adaptation without express written consent from Beals Associates, PLLC.

From: Scott Cole**Sent:** Friday, September 10, 2021 8:24 AM

To: 'Madeleine Dilonno' <mdiionno@therpc.org>; Evan Young (eyoung@thegovegroup.com)
<eyoung@thegovegroup.com>

Cc: Christina McCarthy <cmccarthy@raymondnh.gov>; Brenden Walden (bwalden@gesinc.biz)
<bwalden@gesinc.biz>

Subject: RE: 35 Prescott Road Subdivision Review

Good morning Madeleine, For the required setbacks The owner hired a wetland scientist to review the wetlands on-site and determined the area mentioned by the ConComm did not meet the criteria for the larger setback and will be present at the board meeting.

The 75' setback shown is a septic setback. The building setback is 25' as shown.

I have added the proposed building and will have a display board and have attached a copy.

We have shown a separate drive for the new lot for access.

We will have all required stamps on the plans for the next submittal.

On the boundary plan there is a proposed easement for the well also labeled as the radius.

Yes unfortunately the existing garage does fall within the new side setback. We will discuss with the owner what direction to go with this.

The small existing structure is a shed as assumed and I believe have already been moved but we can verify with the owner.

Thank you.



Scott D. Cole

Senior Project Manager

Beals Associates, PLLC.

70 Portsmouth, Ave. 3rd Floor

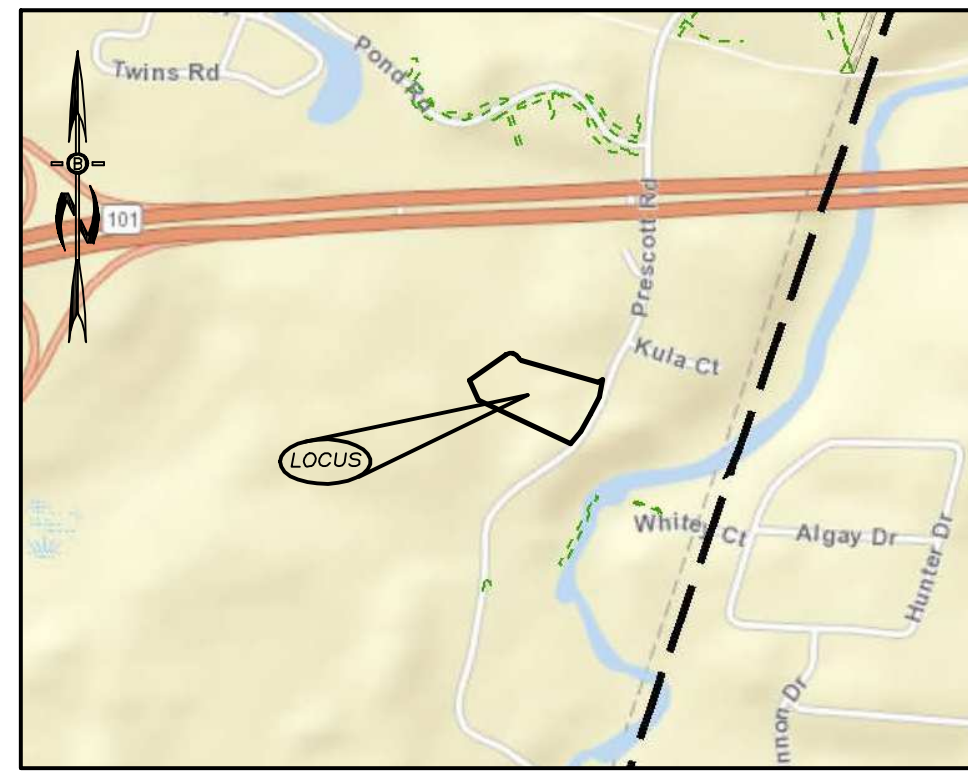
Stratham, NH 03885

603-583-4860

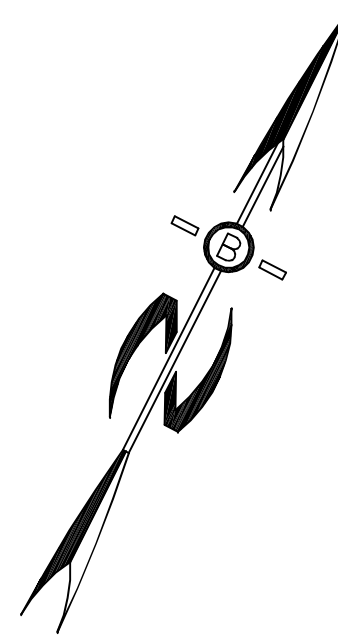
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LOCATION MAP
1"=1000'



LEGEND

| | |
|--|-------------------------------|
| | UTILITY POLE |
| | TEST PIT W/ NO. |
| | STONE WALL |
| | TREE LINE |
| | EXISTING CONTOUR - 10' |
| | EXISTING CONTOUR - 2' |
| | WETLAND BOUNDARY |
| | SOILS BOUNDARY LINE |
| | BUILDING SETBACK LINE |
| | SEPTIC SETBACK LINE |
| | ABUTTING PROPERTY LINE |
| | EXISTING PROPERTY LINE |
| | PROPOSED PROPERTY LINE |
| | 4000 SF SEPTIC RESERVE AREA |
| | PROP. WELL W/ PROTECTIVE RAD. |

Soils were identified using the Natural Resource Conservation Service for Rockingham County, New Hampshire

| SSSM SYM. | SSS MAP NAME | HYDROLOGIC SOIL GRP. |
|-----------|-------------------------|----------------------|
| 140 | Chatfield-Hollis-Cantin | B |
| 447 | Scituate-Newfields | C |
| 547 | Walpole | D |

SLOPE PHASE:
0-8%=B, 8-15%=C, 15-25%=D, 25%+=E

APPROVAL BLOCK

| | |
|--|------------|
| APPROVED BY THE RAYMOND PLANNING BOARD | |
| CHAIRPERSON _____ | DATE _____ |



ZONING REQUIREMENTS

| ZONE (B) | RESIDENTIAL/AGRICULTURAL |
|------------------|--------------------------|
| LOT AREA MIN. | 2 AC. |
| LOT FRONTAGE | 200 FT. |
| FRONT YARD | 30 FT. |
| SIDE & REAR YARD | 30 FT. |

| ZONE (G) - CONSERVATION DISTRICT | |
|-----------------------------------|-----------------------------------|
| WETLAND SETBACK | 25 FT. |
| MIN. UPLANDS PER LOT | 40,000 S.F. |
| GROUNDWATER CONSERVATION DISTRICT | >15% MAX. IMPERVIOUS PER LOT AREA |

PREPARED FOR:

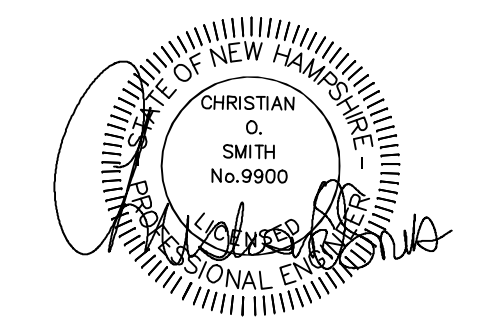
EVAN YOUNG
35 PRESCOTT RD.
RAYMOND NH 03077

BEALS ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

NOTES

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. BEALS ASSOCIATES OR ANY OF THEIR EMPLOYEES TAKE NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN. THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES OR STRUCTURES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE.
- THIS PLAN HAS BEEN PREPARED FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- ALL ROAD AND DRAINAGE WORK TO CONFORM TO TOWN STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- ALL PROPOSED SIGNS SHALL CONFORM TO THE TOWN ZONING REGULATIONS.
- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.



| | |
|--|------------------|
| REVISIONS: | DATE: |
| SITE PLAN | |
| PLAN FOR: RESIDENTIAL DEVELOPMENT PRESCOTT ROAD RAYMOND, NH | |
| DATE: AUG. 2021 | SCALE: 1"=30' |
| PROJ. NO: NH-1218 | SHEET NO. 3 OF 3 |

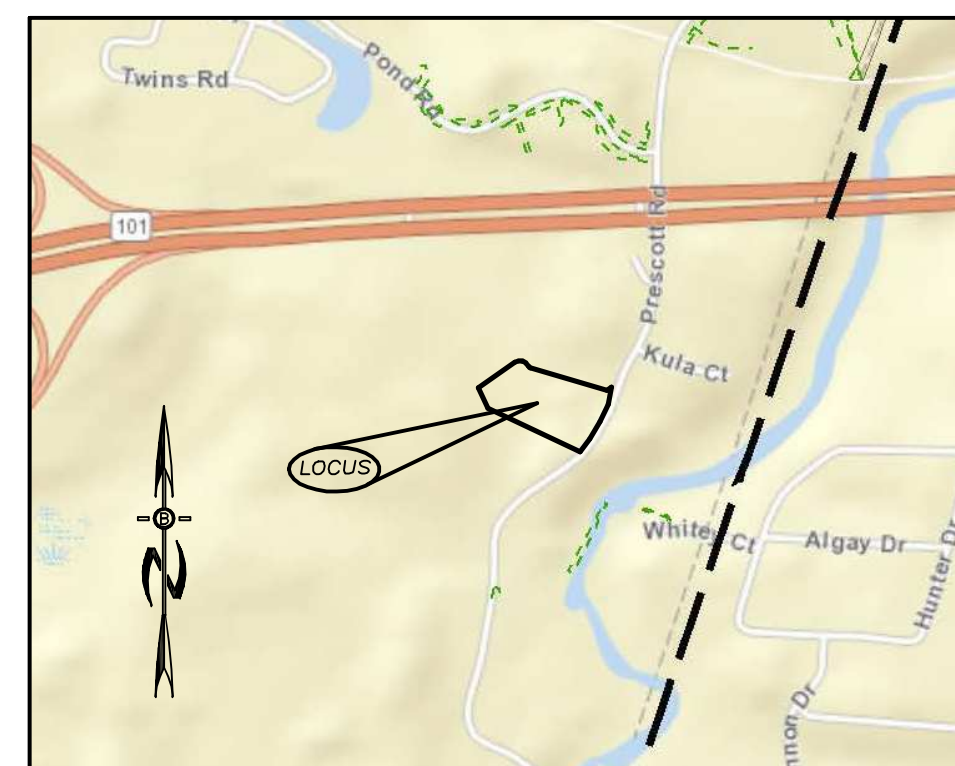
*PROPOSED SUBDIVISION
FOR EVAN YOUNG
35 PRESCOTT ROAD
TAX MAP 24, LOT 7*

CIVIL ENGINEERS:

| |
|---|
| BEALS · ASSOCIATES <i>PLLC</i> |
| 70 PORTSMOUTH AVE, STRATHAM, NEW HAMPSHIRE PHN. 603-583-4860, FAX. 603-583-4863 |

LAND SURVEYORS:

DAVID W. VINCENT, LLS
LAND SURVEYING SERVICES
PO BOX 1622
DOVER, NH 03821
1-603-664-5786



LOCATION MAP
1"=1000'

INDEX

| | |
|-------------------------|---|
| TITLE SHEET | 1 |
| SUBDIVISION PLAN | 2 |
| EXISTING CONDITION PLAN | 3 |
| SUBDIVISION SITE PLAN | 3 |

WETLAND / SOIL
CONSULTANT:

GOVE ENVIRONMENTAL SERVICES INC.
8 CONTINENTAL DRIVE,
BLDG 2 UNIT H
EXETER, NH 03833
1-603-778-0644

REQUIRED PERMITS

NHDES SUBDIVISION APPROVAL NUMBER: SA 2021....

| REVISIONS: | DATE: |
|------------|-------|
| | |
| | |
| | |
| | |

Legend:

- C1 See Curve Table
- L1 See Length Table
- RCRD Rockingham County Registry of Deeds
- Drill Hole Found
- Iron Rod Found
- Iron Rod to be Set
- Drill Hole Set - DHS
- ⊕ Utility Pole
- Building Setback
- Septic System Setback
- Wetland Boundary

Map 24 / Lot 5
Daniel C. & Dionicia Saunders
37 Prescott Road
Raymond, NH 03077

Map 24 / Lot 2
Wal-mart Stores East Inc.
PO Box 8050 MS 0555
Bentonville, AR 72712-8050

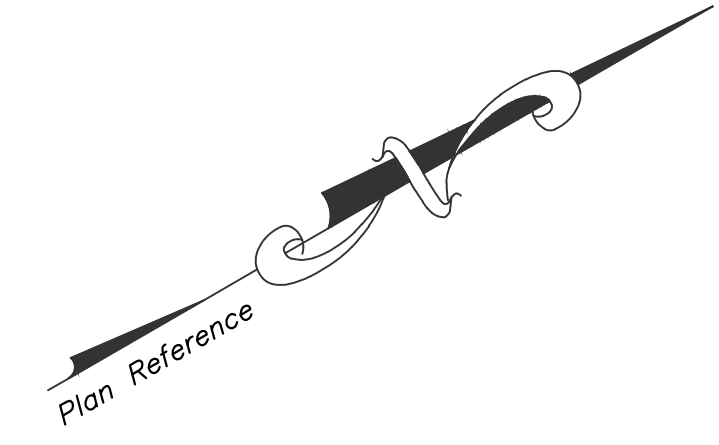
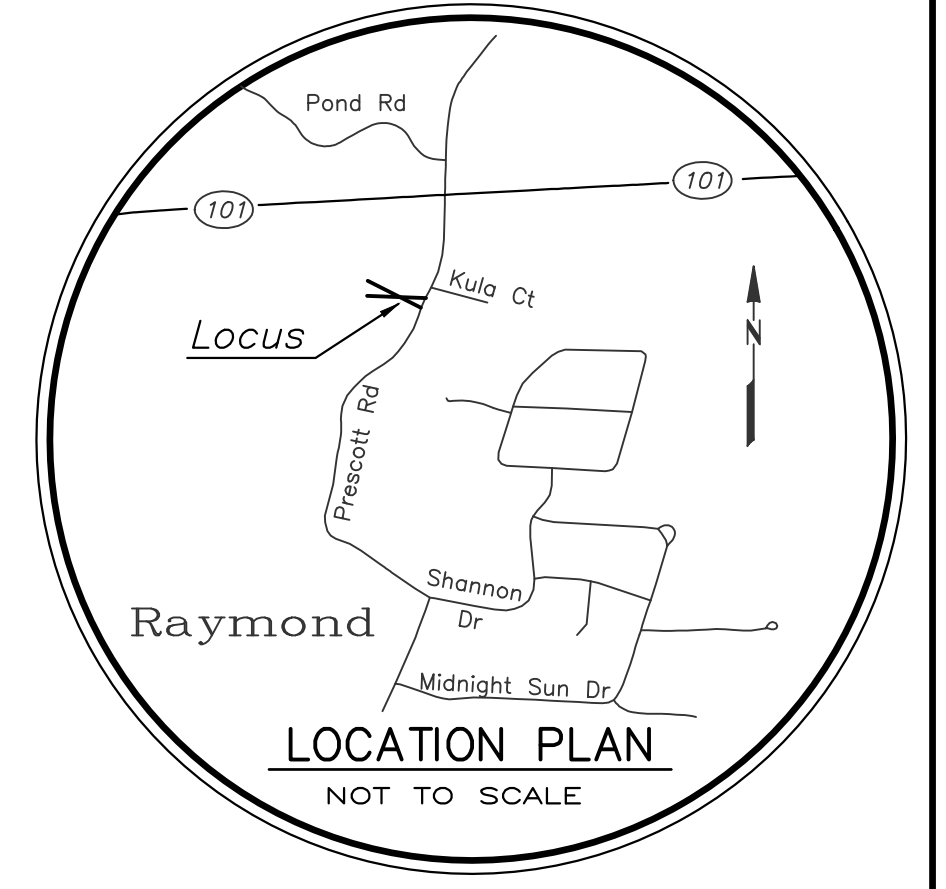
Map 24 / Lot 6
James W. & Brenda S. Leal
39 Prescott Road
Raymond, NH 03077

Map 24 / Lot 8
Clay P. & Karen A. Driscoll
33 Prescott Road
Raymond, NH 03077

Map 24 / Lot 20
Dean & Joann Plender
34 Prescott Road
Raymond, NH 03077

Plan Reference:

"Subdivision for E. & J. Realty West, Owned by Edward & June F. Kulakowski, Raymond, NH," dated November 15, 1978, prepared by R.S.L. Layout & Design, RCRD Plan No. D-8683.



Curve Table:

| CURVE | ARC LENGTH | RADIUS | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|------------|--------|-------------|---------------|--------------|
| C1 | 88.65' | 50.00' | 101°34'53" | S64°34'46"E | 77.48' |
| C2 | 17.45' | 20.00' | 49°59'41" | S38°47'10"E | 16.90' |
| C3 | 32.83' | 20.00' | 94°02'22" | N69°11'48"E | 29.26' |

Length Table:

| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| L1 | S22°10'37"W | 21.46' |
| L2 | S32°47'14"W | 29.20' |
| L3 | S40°25'19"W | 6.88' |
| L4 | N14°04'36"W | 17.31' |

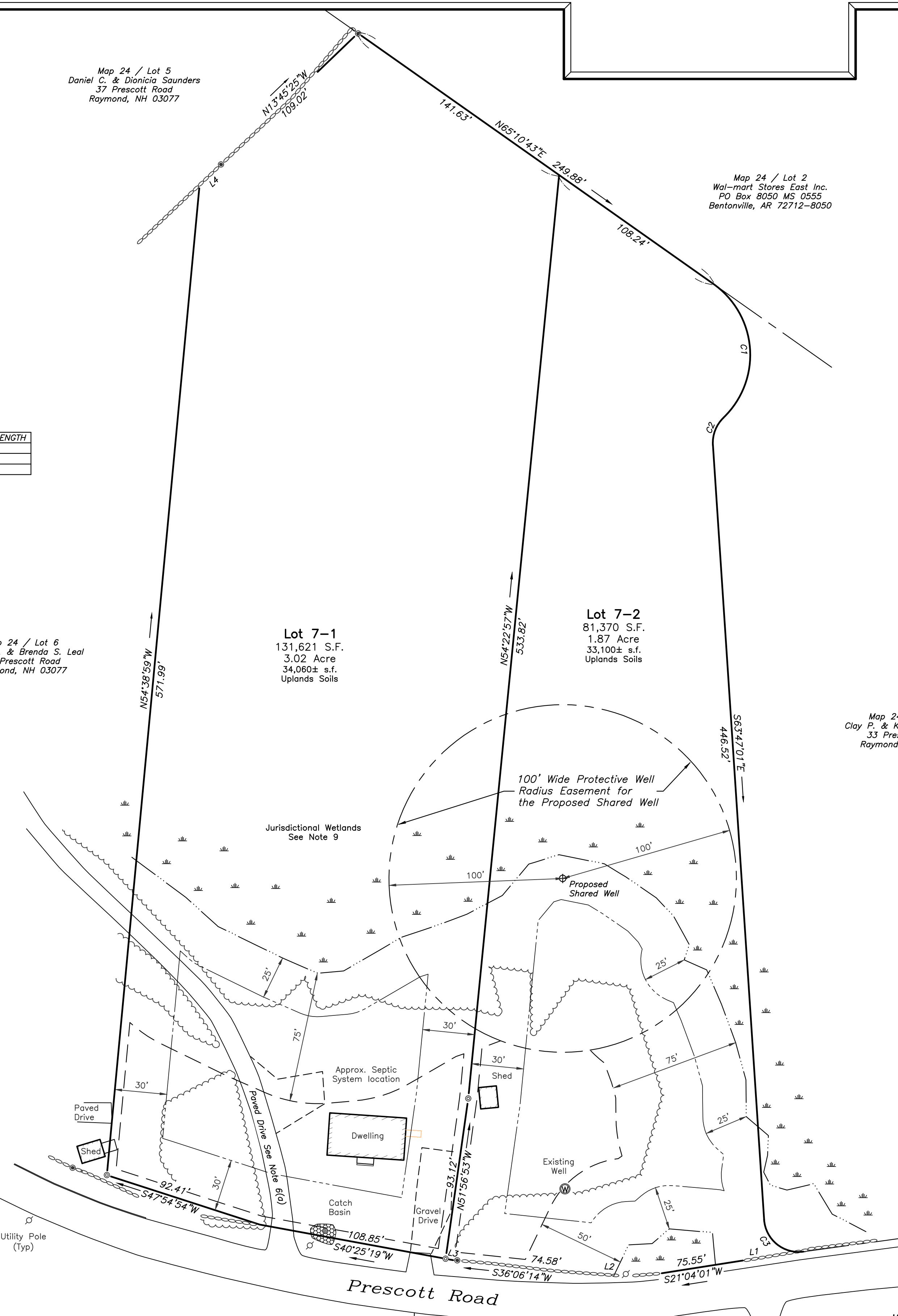
ZONING REQUIREMENTS

ZONE (B) RESIDENTIAL/AGRICULTURAL
 LOT AREA MIN. 2 Ac.
 LOT FRONTAGE 200 FT.
 FRONT YARD 30 FT.
 SIDE & REAR YARD 30 FT.

ZONE (G) - CONSERVATION DISTRICT
 WETLAND SETBACK 25 FT.
 MIN. UPLANDS PER LOT 40,000 S.F.
 GROUNDWATER CONSERVATION DISTRICT >15% IMPERVIOUS PER LOT AREA
 STORMWATER MANAGEMENT PLAN REQUIRED

| APPROVED | |
|--|------------|
| APPROVED BY THE RAYMOND PLANNING BOARD | |
| CHAIRMAN: _____ | DATE _____ |
| VICE CHAIRMAN: _____ | DATE _____ |
| SECRETARY: _____ | DATE _____ |
| MEMBER: _____ | DATE _____ |

The subdivision regulations of the Town of Raymond, New Hampshire, are part of this plan and approval of this plan is contingent upon completion of said requirements of said subdivision regulations, excepting only any variances or modifications made in writing by the Board and attached hereto.

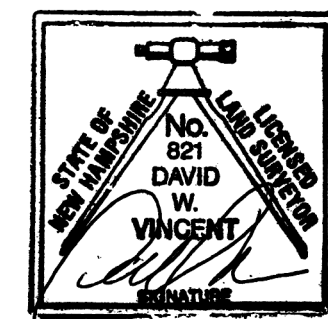


Notes:

- 1.) This plan does not represent a determination of title and the boundaries are as depicted on the plan reference and the purpose of this plan is to subdivide the subject parcel into two separate residential lots. Each lot to be served by individual subsurface septic systems and wells. The existing conditions shown hereon are of the existing conditions survey of the subject property between November 5, 2019 and November 11, 2019.
- 2.) Field Procedure: Topcon (GM-105) Electronic Total Station Instrument & Carlson Surveyor Plus Data Collector, Adjusted Closed Traverse Performed November 2019, Least Squares Balance.
- 3.) Error of Closure Better Than 1:66,000.
- 4.) Parcel is shown as Lot 7 on the Town of Raymond Assessor's Map 24.
- 5.) Parcel is located in the Zoning B Residential/Agricultural, Wetlands Conservation & Aquifer Protection Overlay Districts.
- 6.) Owner of Record: Evan M. & Catherine E. Young
35 Prescott Road
Raymond, NH 03077
RCRD Bk 6019, Pg 700
a.) Parcel is subject to a right of way as depicted on the plan reference.
- 7.) This plan does not show any unrecorded or unwritten easements which may exist. A reasonable and diligent attempt has been made to observe any apparent, visible uses of the land; however this does not constitute that no such easements exist.
- 8.) Parcel is not located in a Flood Hazard Zone A as depicted on Flood Insurance Rate Map, No. 33015C0194E, Rockingham County, NH, (All Jurisdictions), Effective Date: May 17, 2005.
- 9.) The wetland areas shown hereon were field delineated by Gove Environmental Services, Inc., of 8 Continental Drive, Building #2, Unit H, Exeter, NH.
- 10.) On September 25, 2019 the Raymond Zoning Board of Adjustment granted a variance relief from Article 15 Section 15.1-Minimum lot size requirements - Zone B requires minimum of 2 acres.
On February 24, 2021 the Raymond Zoning Board of Adjustment granted a variance within Zone B relief from Article 15 Section 3.1 Special Requirements in Zone G.
 1. The Conservation Commission recommendations should be followed for any future lots created, a vegetative buffer 75 ft around the Shoreland Protective Zone.
 2. No lot created by the Subdivision shall have less than 33,000 sq ft of upland.
- 11.) NHDES Subdivision Approval No. Pending.

WETLAND SCIENTIST CERTIFICATION

US Army Corps of Engineers Wetland Delineation Manual, Technical Report Y-87-1 (Jan 1987) and Regional Supplement to the Corps of Engineers Manual: Northcentral and Northeast Region, Version 2.0, January 2012 and Field Indicators for Identifying Hydric Soils in New England, Version 4, May 2017 New England Hydric Soils Technical Committee.



SUBDIVISION PLAN
 PREPARED FOR
EVAN M. & CATHERINE E. YOUNG
 SHOWN AS
TAX MAP 27 / LOT 7
 LOCATED AT
35 PRESCOTT ROAD
COUNTY OF ROCKINGHAM
RAYMOND, NH



SCALE: 1" = 40' DATE: AUGUST 17, 2021

DAVID W. VINCENT, LLS
LAND SURVEYING SERVICES
 PO BOX 1622
 DOVER, NH 03821
 TEL/FAX (603) 664-5786
 www.landsurveyingservices.net

| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| 4 | | | |
| 3 | | | |
| 2 | | | |
| 1 | | | |

Legend:

- C1 See Curve Table
- L1 See Length Table
- RCRD Rockingham County Registry of Deeds
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- Iron Rod Found
- Iron Rod to be Set
- Drill Hole Set - DHS
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- Building Setback
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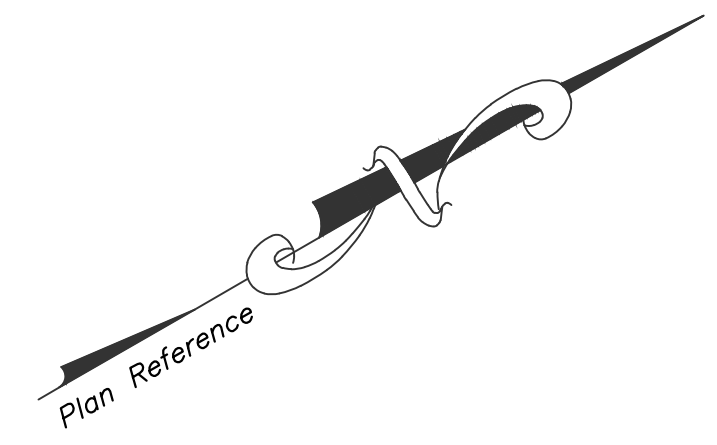
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PO Box 8050 MS 0555
Bentonville, AR 72712-8050

Map 24 / Lot 6
James W. & Brenda S. Leal
39 Prescott Road
Raymond, NH 03077

Lot 7
212,991 S.F.
4.89 Acre

Map 24 / Lot 8
Clay P. & Karen A. Driscoll
33 Prescott Road
Raymond, NH 03077



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| L1 | S22°10'37"W | 21.46' |
| L2 | S32°47'14"W | 29.20' |
| L3 | N14°04'36"W | 17.31' |

Notes:

- 1.) This plan does not represent a determination of title and the boundaries are as depicted on the plan reference and the purpose of this plan is to subdivide the subject parcel into two separate residential lots. Each lot to be served by individual subsurface septic systems and wells. The existing conditions shown hereon as of the existing conditions survey of the subject property between November 5, 2019 and November 11, 2019.
- 2.) Field Procedure: Topcon (GM-105) Electronic Total Station Instrument & Carlson Surveyor Plus Data Collector, Adjusted Closed Traverse Performed November 2019, Least Squares Balance.
- 3.) Error of Closure Better Than 1:66,000.
- 4.) Parcel is shown as Lot 7 on the Town of Raymond Assessor's Map 24.
- 5.) Parcel is located in the Zoning B Residential/Agricultural, Wetlands Conservation & Aquifer Protection Overlay Districts.
- 6.) Owner of Record: Evan M. & Catherine E. Young
35 Prescott Road
Raymond, NH 03077
RCRD Bk 6019, Pg 700
a.) Parcel is subject to a right of way as depicted on the plan reference.
- 7.) This plan does not show any unrecorded or unwritten easements which may exist. A reasonable and diligent attempt has been made to observe any apparent, visible uses of the land; however this does not constitute that no such easements exist.
- 8.) Parcel is not located in a Flood Hazard Zone A as depicted on Flood Insurance Rate Map, No. 33015C0194E, Rockingham County, NH, (All Jurisdictions), Effective Date: May 17, 2005.
- 9.) The wetland areas shown hereon were field delineated by Gove Environmental Services, Inc., of 8 Continental Drive, Building #2, Unit H, Exeter, NH.

WETLAND SCIENTIST CERTIFICATION

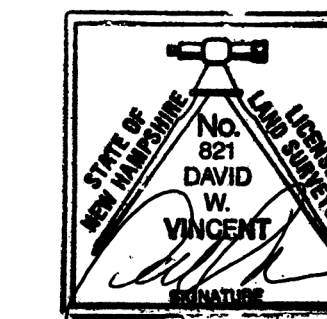
US Army Corps of Engineers Wetland Delineation Manual, Technical Report Y-87-1 (Jan. 1987) and Regional Supplement to the Corps of Engineers Manual: Northcentral and Northeast Region, Version 2.0, January 2012 and Field Indicators for Identifying Hydric Soils in New England, Version 4, May 2017 New England Hydric Soils Technical Committee.

EXISTING CONDITIONS PLAN
PREPARED FOR
EVAN M. & CATHERINE E. YOUNG
SHOWN AS
TAX MAP 27 / LOT 7
LOCATED AT
35 PRESCOTT ROAD
COUNTY OF ROCKINGHAM
RAYMOND, NH



SCALE: 1" = 40' DATE: AUGUST 17, 2021

DAVID W. VINCENT, LLS
LAND SURVEYING SERVICES
PO BOX 1622
DOVER, NH 03821
TEL/FAX (603) 664-5786
www.landsurveyingservices.net



| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| 4 | | | |
| 3 | | | |
| 2 | | | |
| 1 | | | |



The licensed surveyor of this plan does not warrant nor guarantee the location of utilities shown or not shown on this plan. Pursuant to New Hampshire Statute RSA 374, Sections 47-56, the contractor, prior to the commencement of any construction, shall verify the location of all utilities and contact "DigSafe" at 1-800-344-7233 or dial 811.

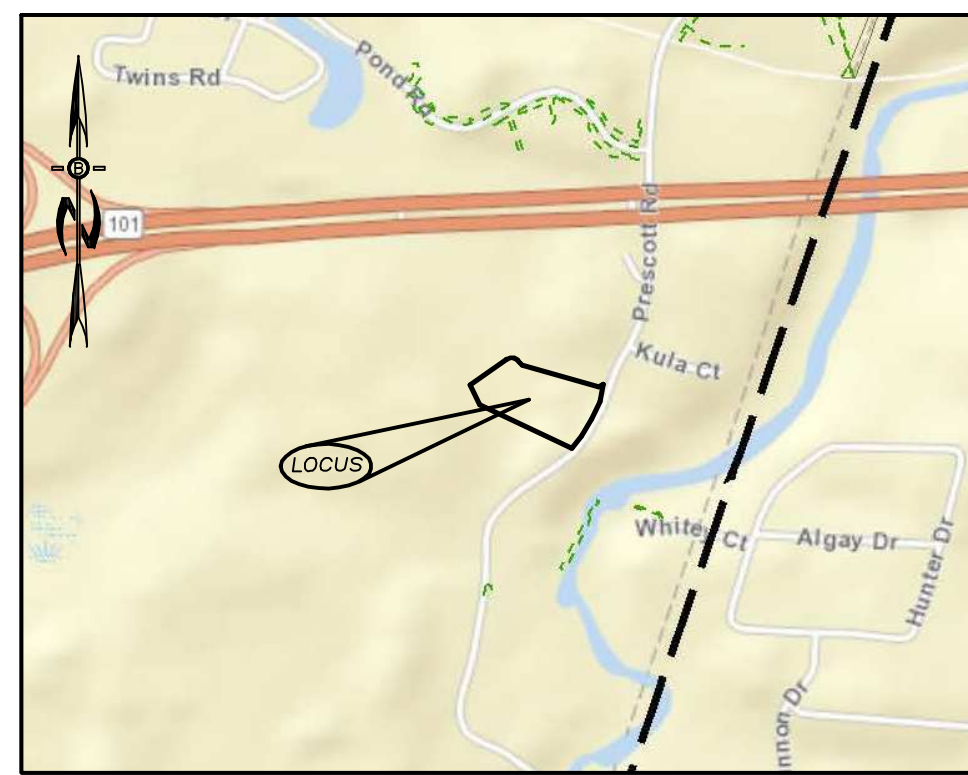
ZONING REQUIREMENTS

ZONE (B) - RESIDENTIAL/AGRICULTURAL
LOT AREA MIN. 2 Ac.
LOT FRONTAGE 200 FT.
FRONT YARD 30 FT.
SIDE & REAR YARD 30 FT.

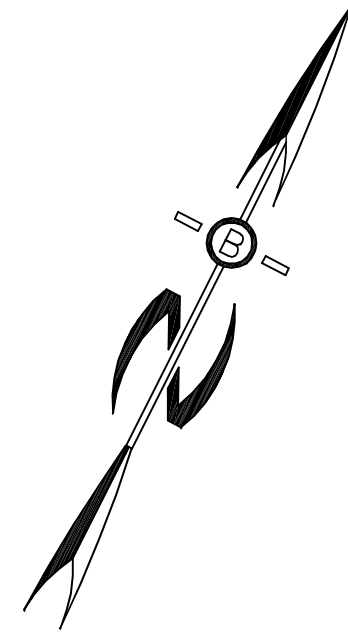
ZONE (G) - CONSERVATION DISTRICT
WETLAND SETBACK 25 FT.
MIN. UPLANDS PER LOT 40,000 S.F.
GROUNDWATER CONSERVATION DISTRICT > 15% IMPERVIOUS PER LOT AREA
STORMWATER MANAGEMENT PLAN REQUIRED

Map 24 / Lot 20
Dean & Joann Plender
34 Prescott Road
Raymond, NH 03077

Map 24 / Lot 19
Sylvie & German Rivera
32 Prescott Road
Raymond, NH 03077



LOCATION MAP
1"=1000'



LEGEND

| | |
|--|-------------------------------|
| | UTILITY POLE |
| | TEST PIT W/ NO. |
| | STONE WALL |
| | TREE LINE |
| | EXISTING CONTOUR - 10' |
| | EXISTING CONTOUR - 2' |
| | WETLAND BOUNDARY |
| | SOILS BOUNDARY LINE |
| | BUILDING SETBACK LINE |
| | SEPTIC SETBACK LINE |
| | ABUTTING PROPERTY LINE |
| | EXISTING PROPERTY LINE |
| | PROPOSED PROPERTY LINE |
| | 4000 SF SEPTIC RESERVE AREA |
| | PROP. WELL W/ PROTECTIVE RAD. |

Soils were identified using the Natural Resource Conservation Service for Rockingham County, New Hampshire

| SSSM SYM. | SSS MAP NAME | HYDROLOGIC SOIL GRP. |
|-----------|-------------------------|----------------------|
| 140 | Chatfield-Hollis-Cantin | B |
| 447 | Scituate-Newfields | C |
| 547 | Walpole | D |

SLOPE PHASE:
0-8%=B, 8-15%=C, 15-25%=D, 25%+=E

APPROVAL BLOCK

APPROVED BY THE RAYMOND PLANNING BOARD

CHAIRPERSON _____ DATE _____

ZONING REQUIREMENTS

| ZONE (B) | RESIDENTIAL/AGRICULTURAL |
|---|--------------------------|
| LOT AREA MIN. | 2 AC. |
| LOT FRONTAGE | 200 FT. |
| FRONT YARD | 30 FT. |
| SIDE & REAR YARD | 30 FT. |
| ZONE (G) - CONSERVATION DISTRICT | |
| WETLAND SETBACK | 25 FT. |
| MIN. UPLANDS PER LOT | 40,000 S.F. |
| GROUNDWATER CONSERVATION DISTRICT >15% MAX. IMPERVIOUS PER LOT AREA | |

PREPARED FOR:

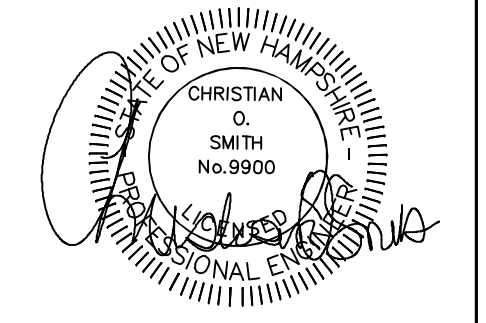
EVAN YOUNG
35 PRESCOTT RD.
RAYMOND NH 03077

BEALS ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

NOTES

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. BEALS ASSOCIATES OR ANY OF THEIR EMPLOYEES TAKE NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN, THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES OR STRUCTURES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE
- THIS PLAN HAS BEEN PREPARED FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- ALL ROAD AND DRAINAGE WORK TO CONFORM TO TOWN STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- ALL PROPOSED SIGNS SHALL CONFORM TO THE TOWN ZONING REGULATIONS.
- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.



| | |
|--|------------------|
| REVISIONS: | DATE: |
| SITE PLAN | |
| PLAN FOR: RESIDENTIAL DEVELOPMENT PRESCOTT ROAD RAYMOND, NH | |
| DATE: AUG. 2021 | SCALE: 1"=30' |
| PROJ. NO: NH-1218 | SHEET NO. 3 OF 3 |

1 Planning Board Minutes
2 September 2, 2021
3 7:00 PM
4 Media Center Raymond High School
5

6 **Planning Board Members Present:**

7 Gretchen Gott
8 Paul Ayer
9 Patricia Bridgeo
10 John Beauvilliers
11 Brad Reed
12 Jonathan Wood
13

14 **Planning Board Members Absent:**

15 George Plante (Selectmen ex officio)
16 Paul Lynn - Alternate
17

18 **Staff Present:**

19 Glenn Coppelman - Circuit rider
20 Christina McCarthy - Planning Technician/Tax Collector
21

22 Pledge of Allegiance
23

24 Mr. Wood asked to move the Exeter Med Real Extension Request forward.
25

26 Phil Shipyard introduced himself. "We know that the 3-year approval term terminates in
27 December. So, we wanted to come in and apply and request a two-year extension. Colin
28 Laverty will be the project manager. We still have all intentions to move forward."
29

30 Motion:

31 Mr. Redd made a motion to extend application 2019-009 for a 2-year period. Mr. Beauvilliers
32 seconded the motion. The motion passed with 4 in favor, 1 opposed, and 1 abstention.
33

34 Mr. Reed read the notice of decision for application 2019-009 (See attached.)
35

36 At approximately 7:08 pm the Board went into a non-meeting prior to hearing application 2021-
37 010. At approximately 7:31pm the Board resumed the meeting.
38

39
40 Application # 2021-010: A site plan application and a conditional use permit has been

41 submitted by Panciocco Law, LLC on behalf of Tom & Dee's Auto Sales, LLC, for property
42 identified as Raymond Tax Map 22/ Lot 35 located at 39 Old Manchester Road within Zone
43 C1. The applicant is proposing a used auto dealership.
44

45 Dee Luszcz: "Because of the last hearing that we were at that we had mentioned names
46 of people that we had talked to, and I believe it was Paul who questioned why that information
47 was not in our package. We were asked not to do that. So, we were just trying to act in good
48 faith by not putting in all the detail. But now it looked like it shed a bad light on us. We weren't
49 trying to hide anything. So, I hope you can understand that and when you hear the timeline and
50 things that we have gone through maybe that will all make sense. So, in March of 2018 Tom
51 and I decided that we were going to look for a property. C1 commercial that had a residential
52 house on it so that we could have a used car business and still have a home on it. So, we
53 stumbled across 39 Old Manchester Road. But before we do anything let's go to the Town and
54 ask them what do we need to do, even though the website said it was an allowable use, I did go
55 and meet with the Community Development Office and was led to David Hall and he very much
56 affirmed that we would have no problems having our business there. So, with that there is
57 nothing more. Are you going to build anything? We are not doing anything but using the
58 structures as is. You are good to go. So, we did submit our purchase and sale agreement with
59 no contingencies and put a \$10,000 cash deposit down. Soon after it was accepted, we hired
60 an inspection firm to come out to the property. Spent another twelve hundred dollars for that.
61 Found that the electrical system was severely outdated and dangerous. So, we requested
62 another inspection from the current homeowner to have an electrical contractor come in and
63 give us a quote for what that would entail. So, since we made another appointment to be in
64 Raymond, we said this would be a great time to meet with the Community Development Team
65 because David had mentioned that in my March meeting with him to sit down and go over your
66 plans. So, we made that meeting. It occurred on April 13, 2018. We met with David Hall, Ernie
67 Creveling, who was the Director at the time, and Christina McCarthy. Everything was going
68 great until Ernie did bring up that provision 14.29 about car dealerships not being any closer
69 than 2,000 feet. If we can't have the dealership, I don't want the house. I made that very clear
70 from day one to everybody. David was very surprised about the other location, New Hampshire
71 Motorworks, but they quickly said don't worry just file a variance. You will be fine. You can't
72 even see one business to the other. You will be ok. Christina was very gracious, she said here
73 is the application, these are the dates. Unfortunately, this was on a Friday and to meet the next
74 deadline I would have to complete the application that weekend and have it to her by Monday.
75 So, I expressed my anxiety. I had never filed for a variance before. Never owned a commercial
76 business before, but rushed home and got a call shortly thereafter. Christina said you don't own
77 the home; you need a notarized letter from the current homeowner granting you permission to
78 file an application and to be heard. My real estate agent thought it was pretty improbable to get
79 a certified letter granting approval, but we ended up getting that afternoon. Going forward
80 Friday afternoon I spent the entire weekend researching variances, what these criteria meant,
81 how to respond. 9:30 Sunday night he said you are done. Notified Christina Monday morning. I

82 gave her everything so she could get the packet out. The next several days I was probably a
83 little bit of a haunt to the Planning Department. I went there every day. I was not trying to be a
84 pest, but I was trying to get my head around the intent of the ordinance, of that 2,000-foot
85 distance, because nobody could explain, nobody in the building department could explain what
86 the intent was. Again, researching zoning laws that intent was crucial to our variance being
87 granted. I was still under the belief whole heartedly that if we did not get that variance and we
88 backed out of the deal we were losing our \$10,000, plus the \$1200 we spent on the inspection.
89 I was very anxious about the intent, so I went to Town Hall and was given a large white binder
90 but unfortunately there was only some mention at a meeting to put it on the ballot and then what
91 the vote was. While I was there Ernie came out and said what is the problem, I told him my
92 concerns. He said when you have your application done, I will read it and give you, my
93 thoughts. He read it and complimented how thorough and complete it was. He told me to go
94 home and relax we had nothing to worry about. So, the variance hearing April 25th comes up.
95 Unfortunately, we weren't even residents at this time, and we didn't know anything about this
96 whole process. I didn't know anything about the printed minutes. Now to see those printed
97 minutes there are so many omissions. You really have to watch the video to hear everything
98 that was spoken at that hearing. This is where I feel our reputation has been tarnished because
99 everybody keeps bringing up these conditions that were put on us and not once was a condition
100 put on us. We did say we want to be a mom-and-Pop dealership. We are a mom-and-Pop
101 dealership. That is who we are. We are still the same. There were some misunderstandings
102 about storing some of the cars on the property, but it was never discussed. The
103 misunderstandings came afterward. But during that hearing when they started to ask us about
104 the number of cars, we had for sale we have since learned going through these processes, it
105 was irrelevant because our variance was for distance only. The use of the property was already
106 zoned allowable for car dealerships and for repairs. So had we had the time to seek legal
107 representation before submitting our application we would have been told none of those
108 questions needed to be answered. It had nothing to do with the application. However, key
109 statements, my husband Tom when asked about how many cars you might sell in a month, he
110 said it is hard to predict how many cars we would sell in a particular month, but it would be
111 possible to have 20 or more cars during tax return time, et cetera. David Hall further stated the
112 code allows them to have a used car dealership there it does not restrict the number of cars.
113 No one objected or commented to either statement. Further on Stephen Feher pointed out as
114 far as Raymond Zoning Ordinance a used motor vehicle dealership is defined as display for
115 sale more than two vehicles. There were a few OKs. Right after that David Hall states but it
116 doesn't restrict the number, right, right there is no upper cap. They can sell in front. Then I was
117 questioned by Joyce Wood asking about the cars being worked at in our shop in Somersworth.
118 Basically, after that conversation Stephen Feher once again said theoretically if they decide to if
119 they did want to do repairs instead of sales, they would be allowable by right, automotive repair
120 shop is acceptable in zone C1. The only comment after that by Joyce Wood but if they want to
121 sell those cars, they still need the variance. We felt we were schooled. We are still going to be

122 Mom and Pop, but ok there are no restrictions. The vote was taken and then we got our notice
123 of decision for variance distance. That's it there were no conditions put on us. There were no
124 side agreements, nothing. So, we closed on the property, June 28, 2018. Our first stop was to
125 Hannaford and then to the building department where we gave them a thank you card and
126 platter of cookies to Christina for all of their help. We had a great relationship with the Town.
127 Soon after we passed the sale of the house, I visited David Hall specifically to see what else we
128 need to do to open our business, and specifically asked if I needed to fill out any of those forms
129 on his door. Isn't there a certificate to put on my wall that says I am a Raymond business
130 owner? He asked me two very pointed questions. Are you going to construct a new building? I
131 said no. Are you going to pave a new driveway or area? No. He said, "there is nothing left to do
132 but go open your business." We then worked on the house, applied for our dealership license. It
133 was taking longer than expected checked with the State, haven't you heard from the Town? No.
134 There was a little email issue. But soon after David told the State of New Hampshire
135 Department of Safety
136 who issues your used dealer license that we successfully met all of the town's requirements to
137 operate our business in that location? The State then came and did their inspection and we met
138 all of the State's requirements to operate our business. As we continued to renovate the house,
139 we pulled permits. Everything was above board. May 16, 2019, about 7/ 8 months after we
140 opened our business. We get a letter from the Town to limit the number of vehicles on our
141 property to a maximum of 4 citing that we were in violation of our variance and there was a
142 threat of a lawsuit if we did not comply. I went from having casual conversations and sharing
143 cookies with the town to we are going to sue you if you do not have 4 or less cars on your
144 property. I called Christina immediately. What is this letter? She said a couple of passersby's
145 and one Zoning Board member made complaints about the number of cars on the property and
146 according to the minutes of the meeting we stated that we would only have about 2 to 4 cars
147 available for sale at a time. So that is what the members based their vote on and thus we were
148 in violation of the variance. I did remind her that David Hall and Stephen Feher also made
149 strong statements at that hearing and they could not limit the number of cars and that no one
150 disputed that and there was nothing on our notice of decision that set any limitations. Because
151 the threat of a lawsuit was there, we felt we had to contact an attorney. It was Labor Day
152 weekend and she clearly felt that we were not in violation of our variance of distance. She sent
153 a letter to the Town on or about May 31. We got no response. I didn't know any better. I
154 reached out to the Town and said is there a response to our letter? I also made a 91A request
155 for who the complainants were. It was over a week; I did not get a response, so I did a second
156 request. It was at that second request Joe Ilsley responded that it wasn't a couple of
157 passersby. It was actually that there was no official complaint, just observations brought forward
158 from Joyce Wood and himself. He acknowledged the receipt of our attorney's letter, and he was
159 seeking clarification from the ZBA regarding their interpretation of the implied condition of their
160 approval and we would hear from the Town afterward. So those were kind of strange words to
161 hear. Did not hear for a few days and reached out again for a response and he stated that the

162 Town does not respond directly to lawyers unless it is directly requested and then it would be
163 routed through the legal firm for action. But he stated that he received clarification on what the
164 ZBA perceived as the conditions of the variance, and it was the interpretation of the ZBA that
165 the variance was granted with the understanding of their only being 4 to 5 vehicles on the
166 property for sale. He did offer to work with us though and to walk through concerns so we could
167 operate our business consistent with the intent of the ZBA. He honestly felt that we could work
168 together to make some slight adjustments and that everything would be fine. We agreed to
169 come to his office. Either on Tuesday, August 6, or August 8 at 3:30. Again I work full time
170 during the day.

171 We never got a response. July 2019, spring 2020 our business line rings over to Tom's cell
172 phone we are in the car. We got a phone call from Gregory Arvanitis, the new building
173 inspector, stated that the Town Manager Joe Isley instructed him to follow up on the violation of
174 our variance. I gave him some background information which he did not have and suggested
175 that he get the information from Joe and gave him my personal cell number to call me back. He
176 never called. Again, willing to work with the Town, willing to talk to people. Spring of 2020
177 Covid hits. We got zero money from the government, for our business, our personal taxes we
178 got none of the money that was awarded to some of the families. We did extend our mortgage
179 and it kept up afloat. We took in our daughter with our two grandchildren. Looking forward to
180 spending Christmas with two children, ages 8 and 6. However, December 10, 2020, we
181 received another letter. A notice from the Town. Notice of violation with an order to cease and
182 desist immediately. Remove all vehicles beyond one or be subject to severe statutory daily
183 fines. Two weeks before Christmas and in the middle of Covid pandemic. However, when you
184 read that cease and desist order the building inspector cited a grossly outdated definition from
185 the New Hampshire Transportation Department and RSA 263:112 which was last updated in
186 2002. Additionally, the Department of Transportation does not issue used motor vehicle dealer
187 licenses. The Department of Safety does whose latest requirements are dated September 11,
188 2010. Our attorney tried to clear this up with the Town on two occasions. Citing his
189 misinterpretation and citing the wrong documents. It fell on deaf ears, and we were told we
190 would have to file an appeal with the ZBA to fight his interpretation claiming we were a junkyard
191 also. The Change of Use was thrown in there as well. We did try to ask them to reconsider the
192 facts. But ultimately that ZBA appeal is still pending but Joe Isley said if you meet with us. We
193 asked to meet with the Board of Selectmen and get their interpretation of things because we felt
194 that the ZBA overstepped its bounds. Giving your notice of decision and then saying there were
195 interpretations and intent it just was very confusing. We were led to believe our meeting which
196 was going to be Zoom in April of 2021, would have a Planning Board Member, Joe Isley, The
197 Building Inspector, The Attorney, but definitely a Board of Selectman Member, they weren't
198 there. We only got a lawyer, we got the Town Manager, we got the building inspector and I
199 believe Christina was in the room. Again, we still tried to work with the Town. They gave us a
200 long list of conditions. More questions. More answers. We kept giving and giving. Change of
201 Use in quotations over and over again, I can't tell you how many times. Just a piece of paper

202 you are just going to go in, you are going to make this right. This will actually protect you, Joe
203 Isley told us. To have this in your file then you can just run your business. We had a preconcept
204 meeting with Joe Isley, the building inspector, and Christina. We went through all of our stuff.
205 The building inspector said I have no more issue I am good. There is nothing they are good to
206 go. But they said to get the Change of Use filed you have to go before the Planning Board. That
207 is what brought us here. So even though it is not my fault Paul that this stuff was not included
208 before every time we met with Joe from April on, and we started bringing up some of these
209 emails

210 And trying to work with the Town he quickly would close his book and stop the conversation
211 saying if we keep bringing up the past and move forward, he is not going to talk to us anymore.
212 And in the back, I am dangling this \$300 a day fine that the Town is going to impose on us.
213 Threat, after threat. Thank you for your time. I hope you got a gist of what we've been through.
214 The money we don't have. People might perceive that car dealerships make a lot of money,
215 they don't. Tom works really hard; I work really hard. I work full time during the day. I do the
216 business during my day job a little bit with my flash drive and my emails. Weekends. I have
217 another job every Wednesday night and every Saturday morning I run a huge charity bingo for
218 the American Legion out of Manchester. I made well over a million dollars over the last few
219 years. That is just not working Wednesdays and Saturdays. I have a house that was built in
220 1784 and still needs extensive upgrades. All put on hold. The worst of it was my grandchildren
221 after that cease-and-desist letter they saw normally happy Nana sad. I tried to hide it from them,
222 but they lived with me. I came home from work one day and I had two yellow papers on my bed
223 And they were little knock, knock jokes that the kids had made. I asked the kids why did you do
224 this and they said we are trying to make you happy. Christmas wasn't fun. It will be this year
225 regardless. We are done. You cannot treat the residents this way. You can't."

226
227 Patricia M. Panciocco: "There were other things in the August 5th minutes that we also missing
228 But I believe the Board already approved the minutes. I have encouraged Dee to write those
229 things down and just email them to you."

230
231 Dee Luszcz: "Yes, unfortunately, we were on vacation the week that they got published and
232 approved so I didn't have a chance to go through them but even on the quick read I knew there
233 were a lot of omissions. One word with and without can be very crucial but I will submit my
234 proposed corrections to those minutes and hopefully the Board will reconsider approving a
235 revised set based on my submissions. Because I was at that meeting on August 5th. The
236 minutes from the site walk. There was a lot of road noise, and everybody was kind of walking
237 and parting ways. She could not have possibly heard everything that was said but I don't think
238 in totality it was a big deal. But I think I heard things that maybe she did not. If it is ok, I can
239 comment on them. In the middle where the group headed to the back left portion of the property
240 past the fence. Ms. Gott asked when the fence had been removed. We were surprised because
241 we didn't think our post and rail would have any bearing on the site walk. But we did mention

242 that the previous owner routinely moved it to get their tractor back there and we have since kept
243 it down to keep our access to the back yard. K. McDonald asked about the cars in the back.
244 John, I think asked the same question. Like we told them they are not kept there forever we just
245 move them in and out. Other than Tom's pimp daddy Lincoln that they had a little joke about.
246 No time to work on it. Kathy McDonald from the public asked how many vehicles are kept in
247 back on the grass storage. Again, we move them out a lot and we could potentially park the
248 area is very large. In theory we could park several, maybe a hundred or so. But we only
249 propose a maximum of ten along that tree line. That is all we want to put back there. So, the
250 location of the Town wells in relationship to the property and its location to the stream was
251 questioned. I believe Jonathan made a statement that said our property was not in the proximity
252 of the Town wells. Maybe that came from Steve Brewer since our August 5th meeting, but we
253 would like more information on that. We feel it is not in proximity. Scott asked about the Cider
254 River Ferry Outlet location. I did comment that we didn't have any information about that, so I
255 don't know anything about that. We did try to respond to the best of our ability. About a 47 point
256 check I don't think we said that. We do a multi-point check on all of our vehicles. We check
257 everything. Every lightbulb, the seatbelts working we do a thorough inspection on all of our
258 vehicles because we only sell safe vehicles. We were asked about some spots on the ground.
259 They were all on pavement and they appeared to be old. There was a new substance inside the
260 bucket of our tractor that Gretchen pointed out and some had seeped out onto the pavement
261 but ultimately it was found after the meeting it was just some gear oil that had fallen out of a big
262 part that he had scooped up that normally doesn't leak"

263
264 Patricia M. Panciocco: "We are going to pick up on where we left on August 5th. You have
265 gotten a letter from me expressing my concerns and I will leave you with those. I provided you a
266 complete set of documents to get you up to speed on why we are here tonight. I think in short
267 what Dee has been trying to say is they are here because they have been trying to work with
268 the Town, but it seems as though there are an awful lot of mixed signals and a lot of people that
269 just don't know what the heck they are doing. What is ironic about his whole thing was an
270 advertisement looking to promote economic development. I can't imagine the Town is intending
271 to treat new businesses that want to come to the Town the way that they have been treated.
272 The unfortunate part of this for you as a Board is that it has kind of all landed in your lap. I don't
273 think that there is anyone on this Board that had anything to do with what happened to Tom and
274 Dee. When we were here on August 5th, I provided you with an overview of the property that
275 Tom and Dee own. The lot is a conforming lot in the C1 Zone. It has a non-conforming
276 residential structure. Which is kind of the opposite of what we see frequently. They have added
277 a conforming use as a used car establishment. In addition, they are doing what the ordinance
278 says they can do. Assemble and sell used cars. So as required and you have the email
279 dictating what had to be done before the meeting, what had to be done before the next meeting
280 by the Town Manager and Code Enforcement. With some arm twisting. They showed up but
281 they were afraid. They didn't know what they were in for next. We submitted the site plan

282 application form as our change of use application. We used that form because you don't have a
283 change of use application. We were asked to submit a waiver request which this Board
284 promptly denied, and I don't agree that it necessarily applies because we did apply for a change
285 of use. I would like to take you through your own regulations and if the Board thinks the waiver
286 is required, we are going to ask you to reconsider your decision and grant it. If you determine it
287 doesn't apply, then that is fine. As to the Conditional Use Permit, we have provided complete
288 information, so you know we really don't even need it. We submitted it to show good faith and
289 be open and transparent. Just like they were on the site walk. Now what I did today was provide
290 a few site plans regulations and the definitions. So, this Board's authority to review site plans
291 and change of uses, or to waive either, is in 674:43 the applicable paragraph is IV. Where it
292 actually says that the legislative body or the Planning Board can establish thresholds of site
293 plan review based on the size of a project or a tract, as well as when it is not required. That is
294 the gist of the paragraph. It says that if the legislative body doesn't approve that the Planning
295 Board can do that. Now with that said, Planning Board's recommend Zoning changes and they
296 also adopt their own site plan regulations. If you look at article 3 of your Site Plan Regulations, it
297 says *The Planning Board shall require site plans to be submitted to it for review by any*
298 *applicant seeking any of the following: 01 The construction of any new non-residential use; 02*
299 *The enlargement of any existing non-residential use which occasions development of the site.*
300 And the operative words to pay attention to are construction, enlargement, and development.
301 *03 The construction of any new multi-family dwellings; 04 The construction or conversion of any*
302 *multi-family dwellings, other than one and two-family dwellings, or non-residential use in which*
303 *development of the site is contemplated or required by virtue of any other Town Ordinance or*
304 *State Regulation or decision of the Town's Zoning Board of Adjustment; 05 The enlargement of*
305 *any existing multi-family use resulting in other than one and two-family dwellings, which*
306 *occasions development of the site; 06 The change within a structure from one permitted use to*
307 *another, nonresidential use or multi-family use other than one and two family dwellings, which*
308 *will occasion development of the site including, but not limited to improvement or alteration to*
309 *the site required by virtue of any other Town or State Ordinance, Statute or Regulation; 07 The*
310 *Planning Board may, at its discretion, waive this requirement if there is no anticipated impact on*
311 *traffic, off-street parking, drainage, municipal services or the surrounding neighborhood at a*
312 *duly noticed public hearing.* Neighbors were here on the 5th of August, they said they created
313 no traffic. Off street parking. Their parking is all on their property. They do not park on the
314 street. Everything is off the street. Drainage, they are not changing the surface of the earth or
315 the drainage. They told me the road is draining onto their property. They are going to call DPW.
316 Municipal services, they have the same water and sewage connection from the day they moved
317 in. Or the surrounding neighborhood, they are in an industrial type of zone that is mostly
318 commercial sprinkled with a few single-family homes. what they do hasn't changed the nature
319 and character of the neighborhood. Before we look at Change of Use if you turn to page 5 of
320 the definitions, *DEVELOPMENT: The construction of improvements on or off a tract or tracts of*
321 *land which shall include the enlargement of the structure, changes of use or physical changes*

322 *to the site to accommodate the intended use.* They have done nothing but bring things up to
323 code. They have constructed nothing; they have enlarged nothing. They have not changed one
324 spoon of dirt on that site. Look at number 8 *ENLARGEMENT: The increase in size or the*
325 *expansion of any structure or appurtenance whether said appurtenance exists alone or in*
326 *service of a structure or other appurtenance.* Again, they have built nothing on the site and have
327 no plans to build anything on this property. 10 *IMPROVEMENT: Refers to all work required to*
328 *construct the proposed development including, but not limited to site grading, landscaping,*
329 *utility installation, water, sewer, electric, drain, telephone, etc. and their appurtenances,*
330 *roadways, parking lots, drives, buildings, fencing, signs, etc.; meaning and intending to include*
331 *all the work necessary to construct the development as agreed to and shown on the approved*
332 *plans, including entire on- and off-site improvements.* I think this Board can look at what you
333 have learned about this particular property. Nothing is proposed to be done here other than run
334 their business. So, when you read those definitions and you look back to when site plan review
335 is required, I would say we amply support a waiver from any thought of a site plan because
336 there is no reason for it. We have been saying since the very beginning, nonetheless we do
337 believe we qualify for a Change of Use because we are going from a residential use, strictly,
338 and becoming more conforming with the ordinance by adding a used car business. That refers
339 you to Appendix I of the regulations of which we need to comply. *Each change of use request*
340 *must be accompanied by an application fee as defined in Appendix 2, entitled "Site Plan*
341 *Review Fees".* I believe the Town Manager asked that that be waived in that particular case.
342 *Uses allowed are only those uses permitted in the appropriate zones under Article 4 of the*
343 *Raymond Zoning Ordinance, entitled "Allowed Uses".* Used car sales and repair are allowed. *A*
344 *change of use requiring Planning Board review shall be determined by the Code Enforcement*
345 *Officer.* He indeed determined we needed to come to this Board and my clients agreed to do
346 that. *Does the proposed activity reflect the nature of the existing or former use?* No, that is why
347 we are here, we applied for a Change of Use. *b) Is any proposed use different in character,*
348 *nature, and kind from the existing use?* Yes, they assemble and sell used cars. *Is any proposed*
349 *use having a substantially different impact on the neighborhood?* We don't think it does base
350 upon what the neighbors have said and what we have told you. *d) Any change of use which, in*
351 *the opinion of the Code Enforcement Officer, requires Planning Board approval in order to*
352 *ensure the health, welfare, morality, (integrity, principles) and safety of Raymond's citizens and*
353 *recreational guests.* We agreed we would come to the Board for a Change of Use, and we are
354 here. *Proposals for Change of Use Review must include the following information: a) Present*
355 *use and proposed use of the property.* We have explained that. *b) Present and proposed*
356 *parking facilities.* We have given you a plan. It shows the proposed parking. They are very
357 organized, and they are segregated according to how they serve their business. They are neat
358 and screened, and you saw them on the site walk. *A scale plan of the property showing*
359 *frontage, building location, parking, driveways, traffic flow, loading spaces and walkways.* We
360 did provide you with a survey plan and we superimposed these requirements onto the plan.
361 This was Dee's work, and they actually went out and actually measured all of the impervious

362 coverage and we gave that to you in a summary for the groundwater protection district, but it is
363 also shown on the plan. *Location, description, and size of existing and/or proposed signs.* They
364 have very modest signs that exist. You saw them on the site walk. They all conform to the
365 zoning. *Physical changes to the exterior of the structure including color changes and lighting.*
366 None of the above. It is what it is. *An operational plan listing proposed hours of operation both*
367 *open and closed to the public.* Did we provide that?”

368
369 Dee Luszcz: “No, but the State requires it, and it is on the front of our building.”

370
371 Patricia M. Panciocco: “It is consistent with their dealership license. And what are the hours,
372 Dee?”

373 Tom Luszcz: “We are open 8-4 Monday through Friday and by appointment on weekends.”

374
375 Patricia M. Panciocco: “Most of their sales are done over the internet. They have very, very few
376 customer visits.

377 *The Planning Board may request any further information it deems necessary for proper review*
378 *of the change of use request and shall not take action until such time that the information is*
379 *provided to the Board.* We believe we have given you complete information. With that
380 information we would like you to reconsider how you would like to handle the waiver request.
381 Either reconsider it and grant it or tell us for the record it does not apply. We would like you to
382 review our Conditional Use Permit application and find that doesn't apply. At least that's what
383 we determined. Make a decision on that. We would like you to recommend and approve the
384 Waiver of the application fee, and for each decision the Board makes on this, unless the Board
385 has questions for us. We would like to have findings of fact for the record. Unless there are
386 minor things, we can do to elevate a concern of the Board, we feel we are done after tonight,
387 and let the chips fall where they may. They bought a house relying on Town officials, not just
388 one but two, direction. They moved in and thought they could hang a shingle and have been to
389 hell and back since. We would like this to end tonight on a high note for everybody and we hope
390 that that will be the case.”

391
392 Dee Luszcz: “I would just like to ask the Board how have we hurt the Town? I understand this
393 whole process of the Planning Board application it to protect the town resident and the public
394 and I would like to know how have we hurt the Town?”

395
396 The Board went into non-public at approximately 8:26 pm.

397 The Board reconvened at approximately 8:54 pm.

398
399 Laura Spector-Morgan: “So one of the Board’s concerns is we know this is a duplex on the site
400 and we are not sure if anyone is living in the other half.”

401

402 Dee Luszcz: "We call it the cottage, but it is a two-family home. The office is in there."
403
404 Laura Spector-Morgan: "Do you have any intention to use it for residential purposes?"
405
406 Dee Luszcz: "Not at this time."
407
408 Laura Spector-Morgan: "If you were to rent to some people where would those people park?"
409
410 Tom Luszcz: "We have no intent of it. The business office is located there. There would be no
411 place for them to live."
412 Laura Spector-Morgan: "So as a Condition of Approval it will be that that will be the office and if
413 you decide to change that you have to come back in."
414
415 Tom Luszcz: "So if we want to close the business and make that a rental unit, we have to come
416 back for a Change of Use again?"
417
418 Laura Spector-Morgan: "I think and that point you would come back and have your site plan
419 approval revoked. If you were going to close the business or move it somewhere else."
420
421 Patricia M. Panciocco: "So as long as the business is open you don't want to see that space
422 now used as the office as a residential rental unit?"
423
424 Laura Spector-Morgan: "Or we want on the plan where those residential tenants would park."
425
426 Dee Luszcz: "Rather than a condition we can give you a place where they would park."
427
428 Laura Spector-Morgan: "Second question. I know you don't think your property is proximate to a
429 water source or the wells, but the Board is concerned about the proximity to a water source or
430 the wells. So, what they would like to see is either drip pans or a membrane under the cars that
431 are parked on the grass, just to keep those fluids from soaking into the permeable surface."
432
433 Dee Luszcz: "What we would agree to is the recommendation of the Raymond Water
434 Department that if we foresee a leak, again our cars don't leak, nobody can assure their own
435 vehicles. We have drip pans on site but not as a condition that they must be placed. We
436 monitor our cars. We inspect our cars and there are other areas in town, other businesses in
437 town that have dirt parking lots. That have no control over the vehicles that park on the soft
438 ground."
439
440 Laura Spector-Morgan: "I will tell you that if this is going to be approved a condition of approval
441 will be the drip pans or the membrane. If that is not something you are willing to comply with

442 you can appeal that condition.”

443

444 Patricia M. Panciocco: “Just on the grass area.”

445

446 Laura Spector-Morgan: “So with those two issues resolved the next thing I would ask the Board
447 to do; I would ask someone who voted to deny your waiver to make a motion to reconsider that
448 vote.”

449

450

451 Motion:

452 Mr. Wood made a motion to reconsider the vote on the waiver that was denied. Mr. Ayer
453 seconded the motion. The motion passed with a vote of 5 in favor, 0 opposed, and 1 abstention.

454

455 Motion:

456 Mr. Beauvilliers made a motion to waive the requirement for a Site Plan Review. Mr. Ayer
457 seconded the motion. The motion passed with a vote of 5 in favor, 0 opposed, and 1 abstention.

458

459 Mr. Wood: “I am going to make some definitions. You have some cars along the tree line that
460 we are going to call inventory for repair. What is the maximum number you are going to have
461 there? “

462

463 Tom Luszcz: “Ten in the back.”

464

465 Mr. Wood: “So ten. You have cars that are right next to the garage. The red cars.”

466

467 Tom Luszcz: “The red cars are parts cars.”

468

469 Dee Luszcz: “What we deem a parts car. One we are actually tearing apart not going to repair
470 would only be parked in the red area. If there are open spaces, we could put waiting for repair
471 there as well. The total spaces on the property doesn't change but we might transition a car
472 waiting for repair might go there if there is no parts car. We feel that we can adequately park 8
473 cars on the asphalt.”

474

475 Mr. Wood: “Then the cars for sale.”

476

477 Dee Luszcz: “Any car that is sellable, ready for sale could technically be in the green, the yellow
478 or the red as long as we don't go over the max number of spaces.”

479

480 Laura Spector-Morgan: “But the green spaces will have no cars worse than those ready for sale
481 and how many green spaces do we have?”

482
483 Mr. Wood: "14."
484
485 Laura Spector-Morgan: "What are the yellow?"
486
487 Dee Luszcz: "Waiting for repair."
488
489 Laura Spector-Morgan: "So that is a total of 40 cars."
490 Tom Luszcz: "40 is the max that we agreed to."
491
492 Dee Luszcz: "Excluding our personal vehicles."
493
494 Mr. Wood: "We need to have an operational plan as to when you are going to be open and
495 when the customers are allowed on site."
496
497 Patricia M. Panciocco: "So the hours open were 8-6 Monday to Friday."
498
499 Laura Spector-Morgan: "8-6 Monday through Thursday, 8-4 Fridays."
500
501 Tom Luszcz: "And we do weekends by appointment."
502
503 Laura Spector-Morgan: "Saturdays 8-4 and Sundays by appointment."
504
505 Mr. Wood: "Just so you understand in other situations where there are vehicles there is
506 something called a Spill Prevention Plan and best management practices for a Spill Prevention
507 Plan where you have impervious surface is to actually put a membrane underneath. You can
508 substitute that by using drip pans, but it would have to go under all of them."
509
510 Laura Spector-Morgan: "The ones on the grass."
511
512 Tom Luszcz: "I understand what you are saying."
513
514 Dee Luszcz: "Do you have the language for that spillable amount because these cars aren't
515 spilling fluids. We are not using drums. I just want to know what can we reference."
516
517 Mr. Wood: "The point is that we don't want any of it to get into the ground."
518
519 Dee Luszcz: "Neither do we."
520
521 Mr. Wood: "That is why the drip pans or the membrane. Once you have the membrane in place

522 you don't have to worry about dragging the drip pans in and out."
523

524 Mr. Reed: "The plan Jonathan referred to is an SPCC. It is a Spill Prevention Control and
525 Countermeasure. The EPA requires it. As a commercial operation you are required to have it.
526 And it does not mean that you have to put the membrane under, but you have to have a plan in
527 place if something leaks."

528
529 Patricia M. Panciocco: "Just to be clear the SPCC countermeasure plan is it that or the drip
530 pans

531 Or are the drip pans or the membrane part of that?"
532

533 Laura Spector-Morgan: "I have heard from the Board that they would like drip pans or
534 membranes regardless."

535
536 Mr. Wood: "The Conditional Permit for groundwater protection is basically either the membrane
537 or the pans."

538
539 Laura Spector-Morgan: "So a Conditional Use Permit for groundwater protection is required
540 when you either have 15% of impermeable surface or 100 gallons of fluids. Do you have either
541 of those conditions?"
542

543 Dee Luszcz: "No."

544
545 Ms. Gott: "Even the gas tanks in the cars that are for sale?"
546

547 Dee Luszcz: "We are not storing those liquids."
548

549 Tom Luszcz: "So my understanding was the reasoning for it was say if a service station you
550 may have a 55-gallon drum of a certain type of oil. A 55-gallon drum of another type of oil. I
551 understand all the fluids. So that was my understanding when we were going through the permit
552 and when we met with the Water Department. He didn't question what was in the cars. I could
553 have 100 registered cars on my property, they are all potentially, you could have 10 gallons
554 between gas and oil and everything."

555
556 Mr. Wood: "Then the final piece would be to submit a revised plan that has these particular
557 Conditions of Approval on it."
558

559 At approximately 9:12 pm Attorney Panciocco and the Luszcz left the room to discuss their
560 options.
561

562 Motion:
563 Mr. Reed made a motion to approve the minutes from August 19, 2021, as amended. Mr. Ayer
564 seconded the motion. The motion passed with a vote of 5 in favor, 0 opposed, and 1 abstention.
565
566 At approximately 9:18 pm Attorney Panciocco and the applicants returned.
567
568 Patricia M. Panciocco: "Reserving a space for a future tenant if they chose to rent that space no
569 problem at all. They would just let you know that, and they would tell you where that space was.
570 That is no problem. As far as the pans, they already have them. Here is the question, if by
571 some fluke, let's just say some mischief maker swipes a pan and Tom doesn't notice it, he is
572 concerned that all of a sudden, he has another cease and desist. Can we build in some
573 mechanism that would be brought to their attention and they will remedy it immediately?"
574
575 Laura Spector-Morgan: "Yes, 48 hours."
576
577 Tom Luszcz: "A phone call or something would be nice."
578
579 Laura Spector-Morgan: "We are not in charge of enforcement, but we will add that to the
580 conditions."
581
582 Dee Luszcz: "For the record we ordered them August 13th, they only shipped on the 16th, and
583 We got them around the 20th. So, we need time to order new ones."
584
585 Laura Spector-Morgan: "I am going to draft up some Conditions of Approval. I am going to
586 circulate them to Jonathan and Christina, and I will send them to you too just so we can all be
587 on the same page. So, what we will need from the Board is the vote to approve the Change of
588 Use with the conditions we have discussed and then you are going to need a vote as to
589 whether you think the Conditional Use Permit applies."
590 "The Conditional Use Permit we are going to do first. The question is: Is a Conditional Use
591 Permit required here because they are not storing fluids in excess of 100 gallons, and they are
592 not covering more than 15% of the lot with impervious surface?"
593
594 Motion:
595 Mr. Wood made a motion that the Conditional Permit for the groundwater protection area is not
596 needed. Mr. Reed seconded the motion. The motion passed with a vote of 4 in favor, 2
597 opposed, and 0 abstentions.
598
599 Ms. Gott stated that she was opposed because she believed that the cumulative amount in the
600 trucks, in the cars, their personal vehicles will amount to 100 gallons of fluids.
601

602 Motion:

603 Mr. Reed made a motion to approve the Change of Use as submitted with the conditions that
604 were discussed. Mr. Beauvilliers seconded the motion. The motion passed with a vote of 6 in
605 favor, 0 opposed, and 0 abstentions.

606

607

608 Motion:

609 Mr. Reed made a motion to waive the application fee. Mr. Ayer seconded the motion. The
610 motion passed with a vote of 6 in favor, 0 opposed, and 0 abstentions.

611

612 Public Comment:

613

614 Kevin Woods, 25 Nancy Lane: "I am here to make some comments about the Master Plan. I
615 realize that most of you are very familiar with this. RSA 674:3 Master Plan preparation. In
616 preparing, revising, and amending the Master Plan the Planning Board may make surveys, and
617 studies. It may review data about the existing conditions, probable growth demands and best
618 design methods to prevent sprawl growth in the community and the region. The Board may also
619 consider the goals, policies, and guidelines of any regional or State Plans as well as those of
620 abutting communities. II. Revisions to the plan are recommended every 5 to 10 years. III.
621 During the preparation of the various section of the Master Plan the Board shall inform the
622 general public and the office of strategic initiatives, and regional planning commissions, and
623 solicit public comments regarding future growth of the municipality in order to involve citizens in
624 the preparation of the Master Plan in a way that is most appropriate for the municipality. This is
625 from the Municipal Association Page. What is a Master Plan? It is a planning document that
626 serves to guide all of the overall character, physical form, and development of a community.
627 That was stated in RSA 674:2. It describes how, why, when, and where to build a city or town.
628 It is not a legal document, but it does provide the legal basis for zoning and other land use
629 regulations. Specifically in order to adopt a zoning ordinance you must have adopted a Master
630 Plan with a minimum of vision and land use sections. In addition, certain types of ordinances
631 may not legally be adopted, and certain grants may not be feasible unless an up-to-date Master
632 Plan is in place. I note that our current Master Plan is dated 2009. I would think that we might
633 agree that it is not up to date."

634

635 Mrs. McCarthy: "We did an amended in 2018."

636

637 Kevin Woods: "It was amended in 2018 and that information has not been made available to the
638 public in a public site. So, the web page needs to be updated or somewhere that needs to be
639 made available. Because here I am a simple resident, goes to the source of information for our
640 town, the web page and it is dated on the Planning site as 2009. I would like to know what is
641 the Planning Board doing about it and when will they be doing it?"

642

643 Mr. Wood: "We will have new census data based on the 2020 US Census which will also help
644 us bring up our demographic information correctly. As far as other components of our plan we
645 have things that we have to do."

646

647 Ms. Bridgeo: "Can we right now, we have been talking about having other meetings, can we
648 schedule them right now? We said we were going to talk about procedure, and we were going
649 to talk about the Master Plan. But we need to actually start scheduling it. We have to talk about
650 warrants. "

651

652 Motion:

653 Ms. Bridgeo made a motion to have a work session on September 23, 2021, that includes
654 beginning a framework to begin the conceptual discussions of Master Plan, warrants,
655 procedures as a Board. Mr. Reed seconded the motion.

656

657 Ms. Gott: "One of the things that I think needs to happen perhaps even before this meeting is
658 that there has been discussion from the code enforcement officer, from other members of tech
659 review that it would be very helpful for all of us to meet together. Other people have said our
660 regulations say different things in different places and I would like to hear from the tech review
661 people who have to deal with these every day. The building inspector. I think it would be helpful
662 to have that meeting with those folks before we have this meeting and go farther. That is part of
663 the road map at least in my mind to find out what it is that they need before we go farther. So, I
664 would suggest that the 23 might want to be that meeting and then on the 30th perhaps we have
665 what Patricia is suggesting."

666

667 The motion passed with 5 votes in favor, 0 opposed and 0 abstentions. Ms. Gott did not vote.

668

669 Motion:

670 Mr. Reed made a motion to adjourn. Mr. Beauvilliers seconded the motion. The motion passed
671 with 6 votes in favor, 0 opposed and 0 abstentions.

672

673 The meeting adjourned at approximately 9:42 pm.

674

675 Respectfully submitted,

676

677 Jill A. Vadeboncoeur

678

679

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