



# TOWN OF RAYMOND

Planning Board Agenda

May 19, 2022

7:00 p.m. - Raymond High School

Media Center - 45 Harriman Hill

Application Site Walk 2021-019

## Public Announcement

*If this meeting is canceled or postponed for any reason the information can be found on our website, posted at Town Hall, Facebook Notification, and RCTV. \**

### 1. Pledge of Allegiance

### 2. Public Hearing

**Application # 2021-019**: A SITE PLAN application is being submitted by Joseph Coronati of Jones & Beach Engineers, Inc. on behalf of IC REED & Sons, Inc. The intent of the application is to show a recently constructed gravel laydown yard on the subject parcel and associated site improvements. The property is represented as Raymond Tax Map 22/ Lot 15 and located at 3 Gile Road.

### 3. Approval of Minutes

- 05/05/2022

### 4. Public Comment

### 5. Other Business

- Staff Updates-
- Board Member Updates
- Any other business brought before the board-

### 6. Adjournment (NO LATER THAN 10:00 P.M.)

\* Note: If you require personal assistance for audio, visual or other special aid, please contact the Selectmen's Office at least 72 hours prior to the meeting. If this meeting is postponed for any reason, it will be held at a time TBD.



# TOWN OF RAYMOND

Planning Board Agenda

May 19, 2022

7:00 p.m. - Raymond High School

Media Center - 45 Harriman Hill

Application Site Walk 2021-019

## PLANNING BOARD MEETING DATES 2022

Planning Board Meeting Dates	Projects Scheduled
May 05, 2022	PINARD WASTE, MOUNTAIN ROAD
May 12, 2022	Rules & Regulation & MS4 REGS
May 19, 2022	IC REED
June 02, 2022	MOUNTAIN ROAD, PINARD WASTE
June 09, 2022	NON-Meeting w/Legal- Training
June 16, 2022	
July 07, 2022	
July 14, 2022	Work Session
July 21, 2022	
August 04, 2022	
August 11, 2022	Work Session
August 18, 2022	
September 01, 2022	
September 8, 2022	Work Session
September 15, 2022	
October 06, 2022	
October 13, 2022	Work Session- Zoning Ordinances
October 20, 2022	
November 03, 2022	
November 10, 2022**	Work Session-Zoning Ordinances
November 17, 2022	
December 1, 2022	
December 8, 2022	Work Session-Zoning Ordinances
December 15, 2022	

\*\*Quorum-Day before a holiday-long weekend.

\* Note: If you require personal assistance for audio, visual or other special aid, please contact the Selectmen's Office at least 72 hours prior to the meeting. If this meeting is postponed for any reason, it will be held at a time TBD.

# Memo

**To:** Planning Board  
**From:** Christina McCarthy, TRC  
**cc:** IC REED  
**Date:** 04/12/2022  
**Re:** Advisory comments from TRC

---

On April 12, 2022 the TRC met and had their final meeting with Joseph Coronati of Jones & Beach and IC REED and SONS, INC. regarding 3 Gile Road. The TRC agreed unanimously that Application 2021-019 3 Gile Road is ready to move forward to the Planning Board with the following advisory comments:

1. Address to be updated per Chief Hammond to 10 Scribner Road
2. Provide lydar for sight distance
3. Define emergency use for lighting differences.

# JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885  
603.772.4746 - JonesandBeach.com

November 4, 2021

Raymond Planning Board  
Attn. Jonathan Wood, Chair  
4 Epping Street  
Raymond, NH 03077

**RE: Site Plan Application  
3 Gile Road, Raymond, NH  
Tax Map 22, Lot 15  
JBE Project No. 20603**

Dear Mr. Wood,


Jones & Beach Engineers, Inc. respectfully submits a Site Plan Application for the above-referenced parcel on behalf of the owner, I.C. Reed & Sons, Inc. The intent of this application is to show a recently constructed gravel laydown yard on the subject parcel and associated site improvements. The site will be fenced for security and will need lighting for access to materials at night. We will be adding stormwater ponds and treatment around the perimeter. No buildings or structures are proposed and the site will be used for storage of construction materials, trailers, spools & various other items incidental to I.C. Reed.

The following items are provided in support of this Application:

1. Site Plan with Checklist.
2. Letter of Authorization.
3. Current Deed.
4. Fee Check.
5. Abutters List & Mailing Labels (3 sets).
6. Tax Map
7. Three (3) Drainage Analysis.
8. Six (6) Full Size Plan Sets.
9. Ten (10) Reduced Size (11" x 17") Plan Sets.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,  
**JONES & BEACH ENGINEERS, INC.**



Joseph Coronati  
Vice President

cc: Shawn Reed, I.C. Reed & Sons, Inc. (application and plans via email)  
Ross Tsantoulis, DuBois & King (application, drainage and plans via email & U.S. Mail)



Map # 22 Lot # 15

# Site Plan Review Application

## Town of Raymond, NH

Project Name: \_\_\_\_\_

Location: 3 Gile Road, Raymond, NH

Project Description: To show a recently constructed gravel laydown yard on the subject parcel with associated site improvements.

Zone: C1 New Industrial/Commercial Square Footage: 0 or Number of Residential Units: 0  
Commercial C1

**Applicant/Agent Information:**

Name: Shawn Reed

Phone: 603-867-8520 Fax: \_\_\_\_\_

Company: I.C. Reed & Sons, Inc.

Address: PO Box 968, Raymond, NH 03077

By signing this application, you are agreeing to all rules and regulations of the Town of Raymond, and are agreeing to allow agents of the Town of Raymond to conduct inspections of your property during normal business hours to ensure compliance with all Raymond Zoning and Site Plan Review Regulations while your application is under consideration and during any construction and operational phases after approval is granted.

Signed\*:  Date: 11/1/21

\*Requires notarized letter of permission

**Owner Information:**

Name: Same as Applicant

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Company: \_\_\_\_\_

Address: \_\_\_\_\_

Signed:  Date: 11/1/21

**Designers of Record:** (Provide Name & License Number for each)

Engineer: Michael Kerivan, Jones & Beach Engineers, Inc. - #9846

Surveyor: David Collier, Jones & Beach Engineers, Inc. - #892

Soil Scientist: \_\_\_\_\_

Landscape Architect: \_\_\_\_\_

Fire Protection Engineer: \_\_\_\_\_

Other(s): \_\_\_\_\_

**FEES:** See attached Fee Schedule

***For Office Use Only:***

Date Application Received: \_\_\_\_\_ Total Fees Collected w/Application: \_\_\_\_\_

Abutters List Received: \_\_\_\_\_ Plans & Checklist Received: \_\_\_\_\_

# Site Plan Review Checklist

TOWN OF RAYMOND, NH

PROJECT NAME \_\_\_\_\_

MAP# 22 LOT # 15 APPLICATION DATE 11/4/21 APPLICATION # \_\_\_\_\_

*A copy of all plans and technical reports must be sent to the Town engineer. Proof of submittal must be provided to the Community Development Department at the time of application. If proof of transmittal is not provided, the application may be delayed until the following month's Planning Board meeting. Address is: Dubois & King, 18 Constitution Dr., Bedford NH 03110, ATTN: Jeff Adler.*

**SUBMITTED**

**YES NO**

**WAIVED**

**YES NO**

- |             |             |  |             |             |
|-------------|-------------|--|-------------|-------------|
| <u>X</u>    | <u>    </u> | 1. Name of project; names and addresses of owners of record; Tax map and lot number.   | <u>    </u> | <u>    </u> |
| <u>X</u>    | <u>    </u> | 2. Name, license number and seal of surveyor or other persons, north arrow, scale and date of plan; signature block.                       | <u>    </u> | <u>    </u> |
| <u>X</u>    | <u>    </u> | 3. Vicinity sketch and zoning district(s).   | <u>    </u> | <u>    </u> |
| <u>X</u>    | <u>    </u> | 4. Abutters and uses of abutting land within 200 feet of the site.   | <u>    </u> | <u>    </u> |
| <u>X</u>    | <u>    </u> | 5. Shape, size, height, location and use of existing and proposed structures located on the site and within 200 feet of the site.          | <u>    </u> | <u>    </u> |
| <u>X</u>    | <u>    </u> | 6. Boundary lines, dimensions and bearings; lots area in acres And square feet and total disturbed area in square feet.                    | <u>    </u> | <u>    </u> |
| <u>X</u>    | <u>    </u> | 7. Location, name and widths of any existing and proposed roads on the property and within 200 feet of the site                            | <u>    </u> | <u>    </u> |
| <u>X</u>    | <u>    </u> | 8. Location of existing and proposed sidewalks and driveways, with indication of travel for both pedestrian and vehicular traffic.         | <u>    </u> | <u>    </u> |
| <u>X</u>    | <u>    </u> | 9. Access to the site, sight distance at access point(s), curb cuts and any proposed changes to existing streets; copy of driveway permit. | <u>    </u> | <u>    </u> |
| <u>    </u> | <u>N/A</u>  | 10. Location and number of parking spaces; loading spaces.   | <u>    </u> | <u>    </u> |
| <u>X</u>    | <u>    </u> | 11. Location, type and nature of all existing and proposed Landscaping and screening.  | <u>    </u> | <u>    </u> |
| <u>X</u>    | <u>    </u> | 12. Location, type and nature of all existing and proposed exterior lighting.  | <u>    </u> | <u>    </u> |
| <u>X</u>    | <u>    </u> | 13. Natural features (streams, ponds, wetlands, etc.)  | <u>    </u> | <u>    </u> |
| <u>X</u>    | <u>    </u> | 14. Waste/dumpster locations and snow storage areas  | <u>    </u> | <u>    </u> |

# Site Plan Review Checklist

TOWN OF RAYMOND, NH

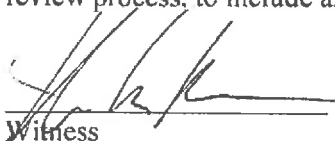
SUBMITTED			WAIVED	
YES	NO		YES	NO
<u>  X  </u>	<u>    </u>	15. Existing and proposed grades and contours, including base Flood elevation where appropriate.	<u>    </u>	<u>    </u>
<u>    </u>	<u>  N/A  </u>	16. Size and location of all existing and proposed water mains, sewers, culverts, and distances to the existing fire hydrants, cisterns and/ or fire ponds.	<u>    </u>	<u>    </u>
<u>    </u>	<u>  N/A  </u>	17. Copy of certification from septic designer as to sufficiency of system.	<u>    </u>	<u>    </u>
<u>    </u>	<u>  N/A  </u>	18. Location and type of proposed waste water disposal system; Outline of 4,000 sq. ft. area; test pits; record of percolation tests.	<u>    </u>	<u>    </u>
<u>  X  </u>	<u>    </u>	19. Existing and proposed Storm water drainage system.	<u>    </u>	<u>    </u>
<u>    </u>	<u>  N/A  </u>	20. Location of existing and proposed on-site well (showing required radius on the property.)	<u>    </u>	<u>    </u>
<u>  X  </u>	<u>    </u>	21. Soil survey data (see: requirements for soils and wetlands data)	<u>    </u>	<u>    </u>
<u>  X  </u>	<u>    </u>	22. Location of any existing or proposed easements, deed restrictions, covenants.	<u>    </u>	<u>    </u>
<b>OTHER:</b>			<u>    </u>	<u>    </u>
<u>  X  </u>	<u>    </u>	1. Any federal, state or local permits.	<u>    </u>	<u>    </u>
<u>    </u>	<u>  N/A  </u>	2. Building elevations and design	<u>    </u>	<u>    </u>
<u>    </u>	<u>  N/A  </u>	3. Sign location and design	<u>    </u>	<u>    </u>
<u>    </u>	<u>  N/A  </u>	4. Copies of any proposed or existing easements, deed restrictions, covenants, and street deeds.	<u>    </u>	<u>    </u>
<u>    </u>	<u>  N/A  </u>	5. Such additional studies as may be required.	<u>    </u>	<u>    </u>
<u>  X  </u>	<u>    </u>	6. Six (6) full-size copies of all plans and ten (10) copies of all plans in 11 X 17 format, and digital copy of plans. *	<u>    </u>	<u>    </u>
<u>  X  </u>	<u>    </u>	7. Three (3) copies of all studies*	<u>    </u>	<u>    </u>
<b>FEEES</b>				
<u>  X  </u>	<u>    </u>	1. Application Fees		
<u>  X  </u>	<u>    </u>	2. Abutters Notice Fees <i>(to include three (3) labels per abutter)</i>		
<u>  X  </u>	<u>    </u>	3. Engineering and Legal Review Escrow		
<u>  X  </u>	<u>    </u>	4. Site Review-Administrative Fee		



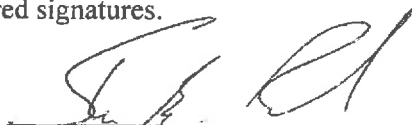
Letter of Authorization

I, Shawn Reed, I.C. Reed & Sons, Inc., PO Box 968, Raymond, NH 03077, owner of Tax Map 22, Lot 15, located on 3 Gile Road in Raymond, NH do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on our behalf concerning the property previously mentioned.

I hereby appoint Jones & Beach Engineers, Inc., as our agent to act on our behalf in the review process, to include any required signatures.

  
\_\_\_\_\_

Witness

  
\_\_\_\_\_

Shawn Reed  
I.C. Reed & Sons, Inc.

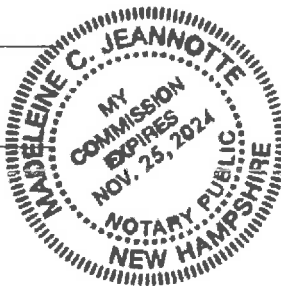
10/28/21  
Date

Personally, appeared the above-named Shawn Reed, known to me or satisfactorily proven to be the person whose signature appears on this letter of authorization and acknowledged that the facts contained in the letter of authorization are true based upon their knowledge, information and belief. Before me,

  
\_\_\_\_\_

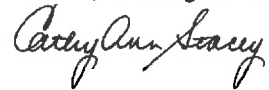
Notary Public/Justice of the Peace

My Commission expires Nov. 25, 2024



Return To:

I.C. Reed & Sons, Inc.  
PO Box 968  
Raymond, NH 03077



LCHIP	ROA516020	25.00
TRANSFER TAX	RO099972	8,625.00
RECORDING		14.00
SURCHARGE		2.00

## WARRANTY DEED

*KNOW ALL MEN BY THESE PRESENTS*, That, Waldoborough, LLC, a New Hampshire limited liability company, with a mailing address of 65 Newton Road, Plaistow, NH 03865, for consideration paid grants to I.C. Reed & Sons, Inc., a New Hampshire limited liability company, with a mailing address of P.O. Box 968, Raymond, NH 03077, with WARRANTY COVENANTS:

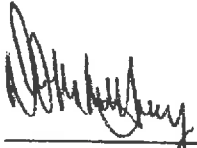
A certain tract or parcel of land situated in Raymond, County of Rockingham and State of New Hampshire shown as Tax Map No. 22, Tax Lot No. 15 on a plan entitled "A Survey and Plat of Subdivision prepared for Waldoborough, LLC situated in the Town of Raymond, NH" prepared by Blaisdell Survey, LLC, dated December 7, 2011 recorded in the Rockingham County Registry of Deeds as Plan No. D-37323, to which plan reference may be made for a more particular description.


Meaning and intending to describe and convey a portion of the premises conveyed to Waldoborough, LLC by virtue of a deed dated February 5, 1999 recorded in the Rockingham County Registry of Deeds at Book 3366, Page 228.


This is not homestead property.

Executed this 17th day of September, 2020.

Waldoborough, LLC

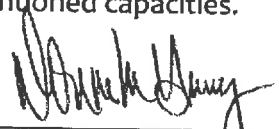
  
\_\_\_\_\_  
Witness to both

  
\_\_\_\_\_  
By: John A. Galloway  
Its: Member/Manager  
Duly Authorized

  
\_\_\_\_\_  
By: Brenda R. Galloway  
Its: Member/Manager  
Duly Authorized

State of New Hampshire  
County of Rockingham

Personally appeared the above named John A. Galloway, Member/Manager and Brenda R. Galloway, Member/Manager of Waldoborough, LLC, before me this 17th day of September, 2020 known to be the person whose name is subscribed to the foregoing instrument and acknowledged that they executed the same for the purposes therein contained in the aforementioned capacities.

  
\_\_\_\_\_  
Notary Public/Justice of the Peace

My Commission Expires:

DONNA M. HARVEY, Notary Public  
State of New Hampshire  
My Commission Expires April 20, 2021

## Developments with Regional Impact

**Project Name:**

**Application No.:**

**Tax Map & Lot:**

*The Rockingham Planning Commission has developed this guidance document to aid our communities in evaluating whether or not a development should be determined to have regional impact.* The document summarizes the statutory process that must be followed under New Hampshire state law and suggest a number of triggering factors that should be considered for making this determination. Bear in mind that the criteria suggested here are our recommendations: they have no regulatory force.

**Statutory Authority: refer to RSA 36:54-58** – The purpose of this statute is to establish the framework to be followed by a community that is reviewing a development proposal with **potential impacts beyond its municipal boundaries.**

*Findings of YES on one or more of the items below indicates the possible need for a local land use board to make a determination that the development proposal results in regional impacts.*

### **NOTE: THIS IS ON A REGIONAL BASIS NOT A LOCAL BASIS**

1. **School Impacts:** Does the development create significant new student population affecting a regional school district? \_\_\_ Yes \_\_\_ No
  2. **Traffic Generation:** Will the project generate traffic that will create an impact on surrounding municipalities? \_\_\_ Yes \_\_\_ No
  3. **Road Networks:** Does the development provide the opportunity to create a more efficient road network for the regional area or potentially affect regional travel patterns? \_\_\_ Yes \_\_\_ No
  4. **Building Size:** Is the proposed building greater than 50,000 square feet and located within 2,500 feet of a municipal line? \_\_\_ Yes \_\_\_ No
  5. **Visual Impacts:** Will the development create visual impacts to neighboring municipalities such as light pollution, glare, or structures visible from neighboring municipalities? \_\_\_ Yes \_\_\_ No
  6. **Pollution:** Does the development propose the operation of a facility or business which would generate excessive amount of air pollution, wastewater discharge, noise, or hazardous waste transport? \_\_\_ Yes \_\_\_ No
  7. **Water Supply Impacts:** Will the development require a major impact wetland permit from NH DES? \_\_\_ Yes \_\_\_ No
-

Will impacts to known aquifers occur?  Yes  No

Does the project involve permitting for a large groundwater withdrawal?  Yes  No

Will the development cause negative impacts to another community's municipal water supply?  
 Yes  No

8. **Conservation Lands:** Does the development abut existing conservation lands, greenway or existing farmland such that coordination between municipalities could lead to the creation or preservation of greenways or wildlife habitat areas or prevent fragmentation of forests, farms or other conservation lands?  
 Yes  No

9. **Economic Impacts:** Does the development propose the creation of business or industry that would significantly impact regional economic development?  Yes  No

10. **Emergency Response:** Does the proposal create a significant increased demand for emergency services response (including mutual aid) from abutting communities?  Yes  No

11. **Historic or Cultural Resources:** Does the proposed development have negative impacts on historic or cultural resources that may have significance regionally?  Yes  No

12. **Other:** Does the development create other regional impacts not listed in items 1 – 11 above?  Yes  No

Describe: \_\_\_\_\_  
\_\_\_\_\_

# JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885  
603.772.4746 - JonesandBeach.com

May 9, 2022

Raymond Planning Board  
Attn. Brad Reed, Chair  
4 Epping Street  
Raymond, NH 03077

**RE: Response Letter – Dubois and King Comments**  
**10 Scribner Road, Raymond, NH**  
**Tax Map 22, Lot 15**  
**JBE Project No. 20603**

Dear Mr. Reed,

We are in receipt of comments from Jeffrey Adler of DuBois and King dated May 6, 2022. Review comments are listed below with our responses in bold.

## **REVIEW COMMENTS:**

### *1. Drainage Analysis:*

- a. *Repeat Comment. Rip-Rap Calculations. The Rip-Rap Calculations included in the report appear to utilize incorrect discharge rates for the 25-year event. Based on the 25- year report for wet pond #1 and wet pond #2, the values for the primary discharge through the culverts are 4.22 cfs for the 15” pipe, respectively 1.27 cfs for the 8” pipe. The rip-rap calculations sheet shows a discharge of 3.14 cfs for the 15” pipe, respectively, 1.06 cfs for the 8” pipe. We recommend that the applicant revise the calculations.*

**RESPONSE: The rip rap calculations and the rip rap aprons shown on Sheet C3 have been revised.**

- b. *In the pre-construction conditions drainage analysis for Pond 2P: Depression in Gravel, the peak outflow is higher than the peak inflow. We recommend that the Applicant revise the calculations for Pond 2P.*

**RESPONSE: Additional storage above the weir has been added to the model for existing Pond 2P.**

Included with this response letter are the following:

1. Revised Sheet C3.
2. Revised Pre & Post HydroCAD Analysis and Executive Summary.
3. Revised Rip Rap Calculations.

Thank you very much for your time.

Very truly yours,  
**JONES & BEACH ENGINEERS, INC.**



Joseph Coronati  
Vice President

cc: Shawn Reed, I.C. Reed & Sons, Inc. (via email)  
Jeffrey Adler, DuBois & King (via email & U.S. Mail)

# JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885  
603.772.4746 - JonesandBeach.com

March 24, 2022

Raymond Planning Board  
Attn. Brad Reed, Chair  
4 Epping Street  
Raymond, NH 03077

**RE: Conditional Use Application  
3 Gile Road, Raymond, NH  
Tax Map 22, Lot 15  
JBE Project No. 20603**

Dear Mr. Reed,

Jones & Beach Engineers, Inc. respectfully submits a Conditional Use Application for the above-referenced parcel on behalf of the owner, I.C. Reed & Sons, Inc. The intent of this application is to show a recently constructed gravel laydown yard on the subject parcel and associated site improvements, add stormwater drainage features, and construct a new gravelled area for pole storage. The site will be fenced for security and will need lighting for access to materials at night. We will be adding wet ponds for detention and treatment around the perimeter of the laydown yard. No buildings or structures are proposed and the site will be used for storage of construction materials, trailers, spools & various other items incidental to I.C. Reed.

This project requires a Conditional Use Permit as it proposes a site within the Groundwater Protection Zone with more than 15% impervious surface per Section 5.2.11.2 of the Zoning Ordinance. We are permitting after-the-fact installation of 194,000 S.F. of impervious surface or 16.8% of the site, which after the proposed construction will be increased to 262,000 S.F. of impervious gravel or 22.6% of the site with some gravel added for a proposed pole storage area. A spill prevention control & countermeasures plan is not necessary since there will be no storage of controlled substances onsite. The use is not a prohibited use and there is no storage or containment of hazardous materials onsite. All stormwater runoff from gravel areas will be treated by the use of wet ponds and this project is located on a site that was already used as a gravel quarry for many years.

The following demonstrates that we meet the criteria for issuance of a Conditional Use Permit per the Zoning Ordinance:

- 5.2.6.2.1. Minimize through a source control plan that identifies pollution prevention measures, the release of regulated substances into stormwater:  
**RESPONSE: There is no storage or containment of hazardous materials onsite. Wet ponds will be used for the treatment of stormwater.**



- 5.2.6.2.2. Demonstrate that recharge to groundwater will not result in violation of Ambient Groundwater Quality Standards ([Env-Ws 410.05](#)) at the property boundary;  
**RESPONSE: Groundwater recharge cannot be achieved due to the presence of ledge and high water tables throughout the site. We are instead treating runoff from the laydown yard using wet ponds.**
- 5.2.6.2.3. Stipulate that expansion or redevelopment activities shall require an amended stormwater plan and shall not infiltrate stormwater through areas containing contaminated soils without completing a Phase I Assessment in conformance with ASTM E 1527-05, also referred to as All Appropriate Inquiry (AAI).  
**RESPONSE: See Note #16 on Sheet C2. There are no known contaminated soils on site and we are not proposing to infiltrate stormwater.**
- 5.2.6.2.4. Animal manures, fertilizers, and compost must be stored in accordance with the [Manual of Best Management Practices for Agriculture in New Hampshire](#), NH Department of Agriculture, Markets, and Food (June 2011), and subsequent revisions.  
**RESPONSE: See Note #17 on Sheet C2. It is not anticipated that animal manures, fertilizers, or compost will be stored on site.**
- 5.2.6.2.5. All regulated substances stored in containers with a capacity of more than 5 gallons must be stored in product-tight containers on an impervious surface designed and maintained to prevent flow to exposed soils, floor drains, and outside drains.  
**RESPONSE: See Note #18 on Sheet C2. It is not anticipated that regulated substances will be stored on site.**
- 5.2.6.2.6. Facilities where regulated substances are stored must be secured against unauthorized entry by means of a door(s) and/or gate(s) which are locked when authorized personnel are not present and must be inspected weekly by the facility owner.  
**RESPONSE: See Note #19 on Sheet C2. It is not anticipated that regulated substances will be stored on site.**
- 5.2.6.2.7. Outdoor storage areas for regulated substances, associated material or waste must be protected from exposure to precipitation and must be located at least 75 feet from surface water or storm drains, wetlands, private wells and outside the sanitary protective radius of wells used by public water systems.  
**RESPONSE: See Note #20 on Sheet C2. It is not anticipated that regulated substances will be stored on site but these requirements have been noted.**
- 5.2.6.2.8. Secondary containment must be provided for outdoor storage of regulated substances if an aggregate of more than 275 gallons of regulated substances are stored outdoors on any particular property.  
**RESPONSE: See Note #21 on Sheet C2. It is not anticipated that regulated substances will be stored on site.**
- 5.2.6.2.9. Containers in which regulated substances are stored must be clearly and visibly labeled and must be kept closed and sealed when material is not being transferred from one container to another.  
**RESPONSE: See Note #22 on Sheet C2. It is not anticipated that regulated substances will be stored on site.**

5.2.6.2.10. Prior to any land disturbing activities, all inactive wells on the property, not in use or properly maintained at the time the plan is submitted, shall be considered abandoned and must be sealed in accordance with We 604 of the New Hampshire Water Well Board Rules.

**RESPONSE: See Note #23 on Sheet C2, with the words "if any" after "inactive wells" because there are not known to be any on site currently. If there are any, they will be abandoned and sealed in accordance with all applicable laws and regulations.**

The foll following items are provided in support of this Application:

1. Conditional Use Application.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,  
**JONES & BEACH ENGINEERS, INC.**



Joseph Coronati  
Vice President

cc: Shawn Reed, I.C. Reed & Sons, Inc. (via email)  
Ross Tsantoulis, DuBois & King (via email & U.S. Mail)



# Application for Conditional Use Permit

## *Groundwater Conservation Overlay District*

### Town of Raymond, NH

**Conditional Use Permits are Subject to Site Plan Approval by the Planning Board**  
 Raymond Zoning Ordinance, Article 5, Section 5.2

Map # 22 Lot # 15 Application Date 3/24/2022 Application # \_\_\_\_\_

Project Name: Laydown Yard

Location: 3 Gile Road, Raymond, NH

Zone: C1 New Industrial/Commercial Square Footage: 0 or Number of Residential Units: 0  
 Commercial C1

**Applicant/Agent Information:**

Name: Shawn Reed Phone: 603-867-8520

Company: I.C. Reed & Sons, Inc. Fax: \_\_\_\_\_

Address: PO Box 968, Raymond, NH 03077

Signed\*:  Date: 3/24/22

Please Check All that Apply:

5.2.11. **CONDITIONAL USES:** The issuance of a Conditional Use Permit is subject to Site Plan Approval by the Planning Board. The Planning Board may grant a Conditional Use Permit for a use that is otherwise permitted within the underlying district, if the permitted use is or is involved in one or more of the following:

5.2.11.1. Storage, handling, and use of regulated substances in quantities exceeding 100 gallons or 800 pounds dry weight at any one time, provided that an adequate spill prevention, control and countermeasure (SPCC) plan prepared in accordance with [Section 5.2.7](#) by a qualified professional, submitted to the Technical Review Committee for review and approval, with the final plan also submitted to the Raymond Fire Department and the Raymond Community Development Department for its records. The Technical Review Committee may employ the services of a qualified peer review professional to review the plan at the applicant's expense.

5.2.11.2. Any use that will render impervious more than 15% or 2,500 square feet of any lot, whichever is greater.

5.2.11.3

In granting such approval the Planning Board must first determine that the proposed use is not a prohibited use and will be in compliance with the Performance Standards as well as all applicable local, state and federal requirements. The Planning Board may, at its discretion, require a performance guaranty or bond, in an amount and with surety conditions satisfactory to the Board, to be posted to ensure completion of construction of any facilities required for compliance with the Performance Standards. The amount of this bond shall be in addition to any other bond required by the Board under either the Subdivision or Site Plan Review Regulations.

(Continued)



## Application for Conditional Use Permit *Groundwater Conservation Overlay District* Town of Raymond, NH

If you chose 5.2.11.1, above, you must provide a SPCC plan in accordance with the following:

5.2.7 SPILL PREVENTION, CONTROL AND COUNTERMEASURE (SPCC) PLAN: Conditional Uses, as described under [Section 5.2.11](#) of this Ordinance shall submit a spill control and countermeasure (SPCC) plan to the Technical Review Committee (TRC) who shall determine whether the plan will prevent, contain, and minimize releases from ordinary or catastrophic events such as spills, floods or fires that may cause large releases of regulated substances. It shall include:

- 5.2.7.1 A description of the physical layout and a facility diagram, including all surrounding surface waters and wellhead protection areas;
- 5.2.7.2 Contact list and phone numbers for the facility response coordinator, cleanup contractors, and all appropriate federal, state, and local agencies who must be contacted in case of a release to the environment;
- 5.2.7.3 A list of all regulated substances in use and locations of use and storage;
- 5.2.7.4 A prediction of the direction, rate of flow, and total quantity of regulated substance that could be released where industry experience indicates a potential for equipment failure;
- 5.2.7.5 A description of containment and/or diversionary structures or equipment to prevent regulated substances from infiltrating into the ground; and
- 5.2.7.6 Emergency response plan describing and assigning responsibilities and actions to be taken.

# Raymond NH Planning Board Waiver Request Form

## Applicable to Site Plan Review and Subdivision Regulations

### Project Name & Application Number:

#### Regulation, Article & Section from which a waiver is being sought:

Outdoor Lighting Standards, General Requirements - 2

*Where the Planning Board finds that unnecessary hardship may result from strict compliance with these regulations with respect to a particular tract of land, the Board may modify or waive these regulations so that substantial justice may be done and the public interest is secured, provided that:*

#### Please respond to the criteria below:

- a. Explain how the granting of the waiver will not be detrimental to public safety, health, or welfare or injurious to other adjacent property;

We are proposing both dim security lights which meet dark sky compliance for general usage, as well as flood lights which will be necessary in order to illuminate as far into the laydown yard as possible at night during emergencies. These lights will have a switch for emergency usage and will go off at dawn with a light sensor. In general, the security lights will be used and the flood lights will only be utilized during extreme storms or events during which I.C. Reed will need to mobilize their fleet after dark. The lighting plan depicts what such an event would look like and does not show any spillover on to adjacent properties, and furthermore the property is and will continue to be well buffered from adjacent residential properties. These flood lights will be similar to the ones that I.C. Reed uses without issue at their main campus. The flood lights are shown to not cause lighting trespass on to adjacent properties and even then, the lights will be kept on security mode most of the time. Finally, flood lights will enhance public safety over cut-off fixtures as they will help the contractors to be able to expediently access and mobilize their fleet during critical storm events.

- b. Explain how granting this waiver shall not have the effect of nullifying the intent and purpose of these regulations, the Zoning Ordinance, Master Plan or Official Zoning Map;

The intent of the regulation from which a waiver is requested is to minimize the potential for nuisance lighting on adjacent properties from a commercial or industrial development, and also to shield the night sky from uplighting. As stated above, there will be two modes to the lighting: Security mode (using dark sky compliant fixtures) and emergency mode (using flood lights). During emergency mode, the flood lights will shine at full brightness, and this will be used during critical events when the contractors need to mobilize their fleet after dark; otherwise only the security lights will be used. The proposed flood lights are shown on Sheet L1 to not cause spillover on to adjacent properties. The proposed lighting fixtures incorporate horizontal shields in order to protect the night sky from uplighting and these are the same lights that are used on I.C. Reed's primary campus without issue. Emergency mode will be activated sparingly and to the extent that it is, it will be necessary for the safety of the contractors to efficiently access I.C. Reed's fleet at night. Due to the minimal possibility for uplighting or spillover from this well-buffered property with an industrial use in an industrial zone, the intent and purpose of the regulation is met.

In granting waivers, the Planning Board may require such conditions as will, in the Board's judgment, secure substantially the objectives of the standards or requirements of these regulations.

A petition for waiver shall be submitted by the applicant at the time when the application is filed for consideration by the Planning Board. All petitions shall be made in writing using the Town's Waiver Request Form. The petition shall state fully the grounds for the waiver and all of the facts relied upon by the petitioner.

Any granted waivers must be noted on the final approved plan.



Looking left from site entrance; cars far down Scribner Road are visible.



Looking right from site entrance; cars far down Gile Road are visible.

**DRAINAGE ANALYSIS**  
**SEDIMENT AND EROSION CONTROL PLAN**

**Laydown Yard  
10 Scribner Road  
Raymond, NH 03077  
Tax Map 22 Lot 15**

**Prepared for:**

**I.C. Reed & Sons, Inc.  
P.O. Box 968  
Raymond, NH 03077**



**Prepared by:  
Jones & Beach Engineers, Inc.  
85 Portsmouth Avenue  
P.O. Box 219  
Stratham, NH 03885  
(603) 772-4746  
November 4, 2021  
REVISED December 1, 2021  
REVISED January 13, 2022  
REVISED March 23, 2022  
REVISED April 25, 2022  
REVISED May 9, 2022  
JBE Project No. 20603**

## EXECUTIVE SUMMARY

I.C. Reed and Sons, Inc., recently constructed a gravel laydown yard, approximately 194,000 S.F. in area, on the subject parcel. A stormwater management system will now need to be designed and implemented. Additionally, the applicant is proposing to construct a new gravelled pole storage area adjacent to the laydown yard that was built. A drainage analysis of the laydown yard itself as well as undeveloped parts of the site that drain toward it and offsite contributing watershed areas was conducted for both the for the purpose of estimating the peak rate of stormwater runoff and to subsequently design adequate drainage structures. This analysis was conducted for the condition that existed right before the laydown yard was placed (pre-construction) and after the drainage improvement work now proposed and the construction of the proposed pole storage area is complete (post-construction). These two analyses were compared and resultant peak rates of runoff in units of cubic feet per second (cfs) are as follows:

Analysis Point	2 Year		10 Year		25 Year		50 Year		100 Year	
	Pre	Post	Pre	Post	Pre	Post	Pre	Post	Pre	Post
Analysis Point #1	0.00	0.00	0.51	0.38	1.97	0.70	5.22	3.68	7.88	4.73
Analysis Point #2	3.12	1.38	8.68	3.22	13.34	8.10	17.15	12.77	21.81	17.53
Analysis Point #3	1.04	0.82	4.99	2.99	9.09	6.49	13.46	12.04	23.80	19.60

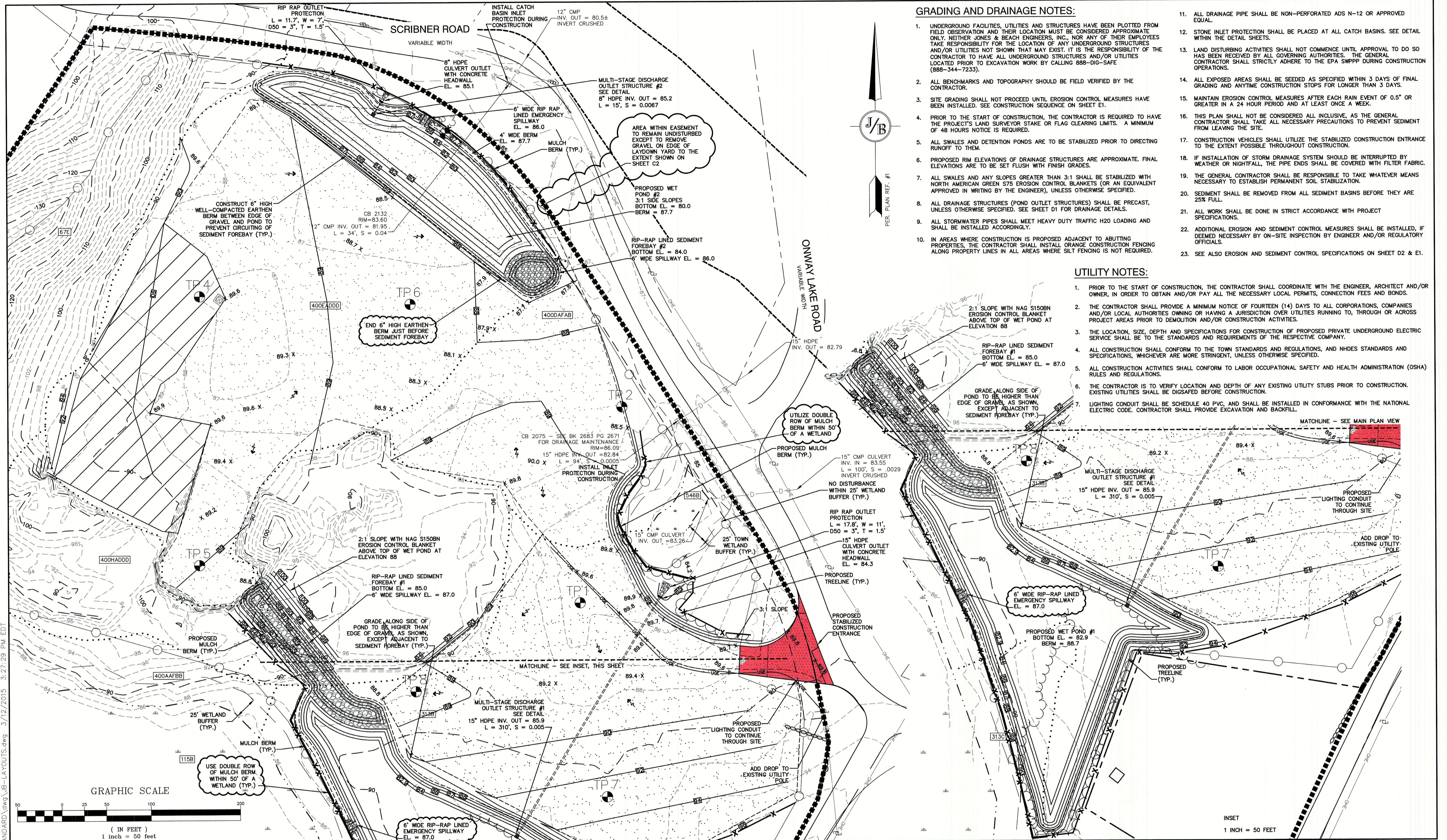
The project site is located in the Commercial (C1) Zoning District. The addition of the gravel laydown yard results an increase in the curve number ( $C_n$ ) and a decrease in the time of concentration ( $T_c$ ), the result being a potential increase in peak rates of runoff from the site. However, with the implementation of the proposed stormwater management system, the development will now result in a decrease in the peak flow rate compared to the pre-construction condition toward the two Analysis Points during all analyzed storms.

Existing topography is such that the watershed area described in the first paragraph drains in nine (9) directions, resulting in three (3) analysis points. This is discussed in further detail in the pre-construction conditions analysis. The site construction consists of the as-built gravel laydown yard and the proposed pole storage area as well as the proposed drainage improvements. The same three Analysis Points were used in the Pre and Post Construction Analyses. Runoff from all of the gravelled areas of the subject parcel and some of the undeveloped areas that drain toward it will be treated and detained using wet ponds to be built on the periphery of the site. Runoff from the remainder of the site will maintain its existing flow pattern.

It is assumed that, right before the laydown yard was built, the topography of the site was the same as it is with the laydown yard now in place. Additionally, the new gravel area was modelled as grass in the fair condition pre-construction. Pre-construction photos of the site have demonstrated that these are both valid assumptions. Comparative site photos are included with this report.

The use of Best Management Practices per the NHDES Stormwater Manual have been applied to the design of this drainage system and will be observed during all stages of construction. All land disturbed during construction will be stabilized within thirty days of groundbreaking and abutting property owners will suffer minimal adversity resultant of this development.





**GRADING AND DRAINAGE NOTES:**

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE STRUCTURES (POND OUTLET STRUCTURES) SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED. SEE SHEET D1 FOR DRAINAGE DETAILS.
- ALL STORMWATER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- ALL EXPOSED AREAS SHALL BE SEEDS AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING AND ANYTIME CONSTRUCTION STOPS FOR LONGER THAN 3 DAYS.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET D2 & E1.

**UTILITY NOTES:**

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
- THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UNDERGROUND ELECTRIC SERVICE SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE COMPANY.
- ALL CONSTRUCTION SHALL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ANY EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHALL BE DIGSAFED BEFORE CONSTRUCTION.
- LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.

F:\CADD\MASTER STANDARD.dwg\JB-LAYOUTS.dwg 3/12/2015 3:27:29 PM EDT

Design: JAC Draft: DJM Date: 11/04/21  
 Checked: JAC Scale: AS-NOTED Project No.: 20603  
 Drawing Name: 20603-PLAN.dwg  
 THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
5	5/9/22	REVISED PER TOWN ENGINEER COMMENTS	DJM
4	5/2/22	REVISED PER TOWN AND AOT COMMENTS	DJM
3	3/23/22	REVISED PER CLIENT & PER TOWN ENGINEER COMMENTS	DJM
2	1/13/22	REVISED FOR NHDES SUBMISSION	DJM
1	12/01/21	MINOR POND REVISIONS	DJM

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**  
 Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **GRADING AND UTILITY PLAN**

Project: **LAYDOWN YARD  
10 SCRIBNER ROAD, RAYMOND, NH, 03077**

Applicant/Owner: **I.C. REED & SONS, INC.  
P.O. BOX 968 RAYMOND, NH 03077 BK 6166 PG 2270**

DRAWING No. **C3**

SHEET 4 OF 11  
JBE PROJECT NO. 20603

May 6, 2022

Ms. Christina McCarthy  
Raymond Community Development  
4 Epping Street  
Raymond, New Hampshire 03077

Subject: Engineering Review for I.C. Reed & Sons, Inc. – Laydown Yard  
10 Scribner Road (previously 3 Gile Road)  
Raymond, NH  
Tax Map 22, Lot 15

Dear Ms. McCarthy:

DuBois & King has completed a technical review of the plans and materials submitted for the above referenced project. The submitted materials consist of the following:

- *Response Letter* for I.C. Reed & Sons, Inc. – Laydown Yard, 10 Scribner Road, Raymond NH, by Jones & Beach Engineers, Inc. (Tax Map 22, Lot 15), dated May 2, 2022.
- *Full Size Set Plan* for I.C. Reed & Sons, Inc. – Laydown Yard, 10 Scribner Road, Raymond NH, by Jones & Beach Engineers, Inc. (Tax Map 22, Lot 15), consisting of 11 sheets, dated November 4, 2021, and revised on May 2, 2022.
- *Drainage Report* for I.C. Reed & Sons, Inc. – Laydown Yard, 10 Scribner Road, Raymond NH, by Jones & Beach Engineers, Inc. (Tax Map 22, Lot 15), dated November 4, 2021, and revised April 25, 2022.

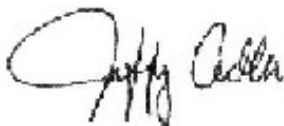
The following were comments noted during the engineering review:

1. Drainage Analysis.
  - a. **Repeat Comment.** Rip-Rap Calculations. The Rip-Rap Calculations included in the report appear to utilize incorrect discharge rates for the 25-year event. Based on the 25-year report for wet pond #1 and wet pond #2, the values for the primary discharge through the culverts are 4.22 cfs for the 15" pipe, respectively 1.27 cfs for the 8" pipe. The rip-rap calculations sheet shows a discharge of 3.14 cfs for the 15" pipe, respectively, 1.06 cfs for the 8" pipe. We recommend that the applicant revise the calculations.
  - b. In the pre-construction conditions drainage analysis for Pond 2P: Depression in Gravel, the peak outflow is higher than the peak inflow. We recommend that the Applicant revise the calculations for Pond 2P

If you have any questions or comments, please do not hesitate to contact us.

Very truly yours,

DuBOIS & KING, Inc.



Jeffrey A. Adler, P.E.

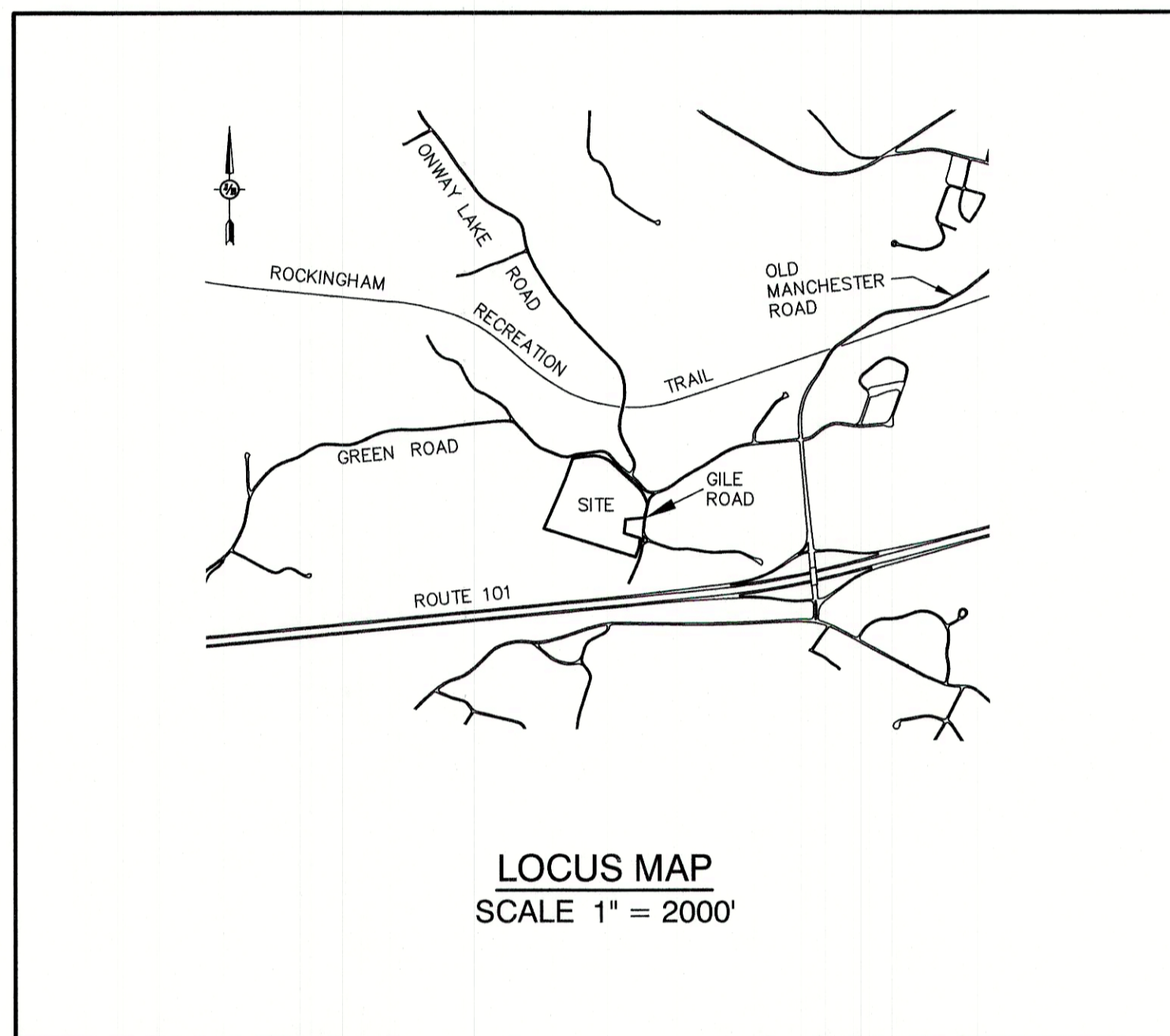
Senior Project Manager

# SITE PLAN FOR I.C. REED "LAYDOWN YARD" TAX MAP 22, LOT 15

## 10 SCRIBNER ROAD, RAYMOND, NH 03077

### GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	TIDAL WETLANDS LINE
---	---	STREAM CHANNEL
---	---	TREE LINE
---	---	STONEWALL
---	---	BARBED WIRE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	SOIL BOUNDARY
---	---	AQUIFER PROTECTION LINE
---	---	FLOOD PLAIN LINE
---	---	ZONELINE
---	---	EASEMENT
100	100	MAJOR CONTOUR
99	99	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	SLOPE GRANITE CURB
---	---	CAPE COD BERM
---	---	POURED CONCRETE CURB
---	---	SILT FENCE OR MULCH BERM
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	SEWER FORCE MAIN
---	---	GAS LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	GUARDRAIL
---	---	UNDERDRAIN
---	---	FIRE PROTECTION LINE
---	---	THRUST BLOCK
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD/DRILL HOLE
---	---	STONE/GRAVITE BOUND
---	---	SPOT GRADE
---	---	PAVEMENT SPOT GRADE
---	---	CURB SPOT GRADE
---	---	BENCHMARK (TBM)
---	---	DOUBLE POST SIGN
---	---	SINGLE POST SIGN
---	---	WELL
---	---	TEST PIT
---	---	FAILED TEST PIT
---	---	MONITORING WELL
---	---	PERC TEST
---	---	PHOTO LOCATION
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	REDUCER
---	---	SINGLE GRATE CATCH BASIN
---	---	DOUBLE GRATE CATCH BASIN
---	---	TRANSFORMER
---	---	CULVERT W/WINGWALLS
---	---	CULVERT W/FLARED END SECTION
---	---	CULVERT W/STRAIGHT HEADWALL
---	---	STONE CHECK DAM
---	---	DRAINAGE FLOW DIRECTION
---	---	4K SEPTIC AREA
---	---	WETLAND IMPACT
---	---	VEGETATED FILTER STRIP
---	---	RIPRAP
---	---	OPEN WATER
---	---	FRESHWATER WETLANDS
---	---	TIDAL WETLANDS
---	---	STABILIZED CONSTRUCTION
---	---	ENTRANCE
---	---	CONCRETE
---	---	GRAVEL
---	---	SNOW STORAGE
---	---	RETAINING WALL



### SHEET INDEX

CS	COVER SHEET
C1	EXISTING CONDITIONS PLAN
C2	SITE PLAN
C3	GRADING AND UTILITY PLAN
L1	LIGHTING PLAN
D1-D2	DETAIL SHEET
E1	EROSION AND SEDIMENT CONTROL DETAILS
T1-T2	TRUCK TURNING PLAN
H1	HIGHWAY ACCESS PLAN

**CIVIL ENGINEER / SURVEYOR**  
**JONES AND BEACH ENGINEERS, INC.**  
 85 PORTSMOUTH AVENUE  
 PO BOX 219  
 STRATHAM, NH 03885  
 (603) 772-4746  
 CONTACT: JOSEPH CORONATI  
 JCORONATI@JONESANDBEACH.COM

**LIGHTING CONSULTANT**  
**CHARRON, INC.**  
 P.O. BOX 4550  
 MANCHESTER, NH 03108  
 (603) 945-3500  
 CONTACT: KEN SWEENEY  
 EMAIL: KSWEENEY@CHARRONINC.COM

**WETLAND AND SOIL CONSULTANT**  
**GOVE ENVIRONMENTAL SERVICES, INC.**  
 8 CONTINENTAL DRIVE, BUILDING 2, UNIT H  
 EXETER, NH 03833  
 (603) 778-0644  
 CONTACT: JAMES GOVE  
 JGOVE@GESINC.BIZ

**ELECTRIC**  
**NH ELECTRIC COOPERATIVE**  
 272-284 NH 107  
 RAYMOND, NH 03077

### PLEASE REPORT RARE TURTLES

The NH Fish & Game Department is requesting observations of three turtle species that could be encountered onsite.

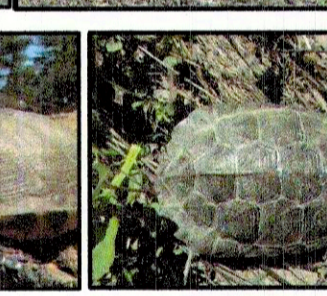
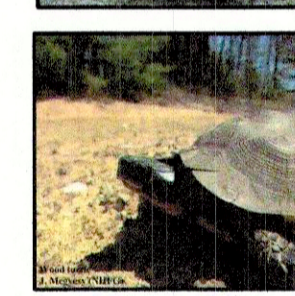
Report sightings immediately to NHFG Wildlife Division at 603-271-2461 (M-F 8-4) or to NHFG Wildlife Biologist Melissa Doperalski 603-479-1129 (cell) anytime.

Please report geographic, nesting, specific location and date. Photographs strongly encouraged.



**Blanding's turtle** (state endangered)

- Large, dark/black domed shell with lighter speckles.
- Distinct yellow throat/chin
- Aquatic but often moves on land



**Wood turtle** (special concern)

- Sculpted, pyramidal brownish shell
- Orange around neck and limbs
- River/stream turtle spending many months on land



**Spotted turtle** (state threatened)

- Small, mostly aquatic with black or dark brown with yellow spots.
- Fairly flat shell compared to Blanding's turtle

### NEW HAMPSHIRE FISH & GAME AOT PERMIT CONDITIONS RELATED TO THREATENED AND ENDANGERED SPECIES:

- THERE IS A POTENTIAL FOR BLANDING'S TURTLE (STATE-ENDANGERED), SPOTTED TURTLES (STATE-THREATENED) AND WOOD TURTLES (STATE SPECIES OF SPECIAL CONCERN). OBSERVATIONS OF THESE SPECIES SHOULD BE REPORTED IMMEDIATELY, PARTICULARLY DURING NESTING SEASON (MID-MAY THROUGH THE END OF JUNE) TO NHFG TO MELISSA DOPERALSKI (CELL/TEXT) 603-479-1129 OR JOSH MEGYESY AT (978) 578-0802. SEE PLAN SHEET C3 FOR SPECIES IDENTIFICATION INFORMATION.
- ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHGREVIEW@WILDLIFE.NH.GOV. EMAIL SUBJECT LINE: NH220-2288\_WHIPPOORWILL\_FARM\_WILDLIFE\_SPECIES\_OBSERVATION. PHOTOGRAPHS SHALL BE PROVIDED FOR VERIFICATION AS FEASIBLE.
- THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.
- ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, AND INLET PROTECTION, CHECK DAMS, SEDIMENT TRAPS, AND SILT FENCE INSTALLED IN ACCORDANCE WITH ENV-WQ 1506.04, SHALL NOT CONTAIN WELDED PLASTIC, PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH. SEE PLAN SHEET E1.

**PROJECT PARCEL**  
 TOWN OF RAYMOND  
 TAX MAP 22, LOT 15

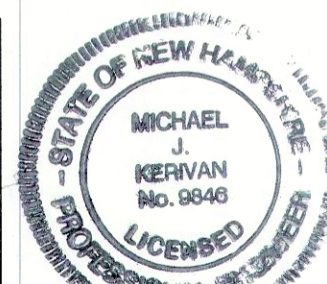
**TOTAL LOT AREA**  
 1,160,277 SQ. FT.  
 26.64 ACRES

APPROVED -- RAYMOND, NH  
 PLANNING BOARD

DATE:

F:\CADD\MASTER STANDARD\dwg\IB-LAYOUTS.dwg 3/12/2015 3:27:29 PM EDT

Design: JAC Draft: DJM Date: 11/04/21  
 Checked: JAC Scale: AS NOTED Project No.: 20603  
 Drawing Name: 20603-PLAN.dwg  
 THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
4	5/2/22	REVISED PER TOWN AND AOT COMMENTS	DJM
3	3/23/22	REVISED PER CLIENT & PER TOWN ENGINEER COMMENTS	DJM
2	1/13/22	REVISED FOR NHDES SUBMISSION	DJM
1	12/01/21	MINOR POND REVISIONS	DJM
0	11/04/21	ISSUED FOR REVIEW	DJM

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**  
 Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
 603-772-4746  
 FAX: 603-772-0227  
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **COVER SHEET**

Project: **LAYDOWN YARD  
10 SCRIBNER ROAD, RAYMOND, NH, 03077**

Applicant/Owner: **I.C. REED & SONS, INC.  
P.O. BOX 968 RAYMOND, NH 03077 BK 6166 PG 2270**

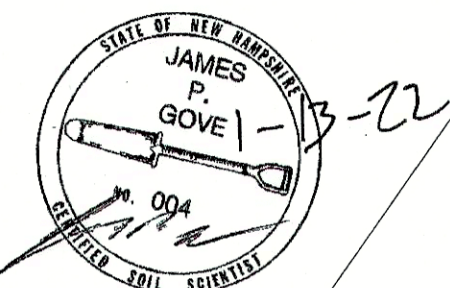
DRAWING No. **CS**

SHEET 1 OF 11  
 JBE PROJECT NO. 20603

LAYDOWN YARD, 3 GILE ROAD, RAYMOND, NH 03077  
 JBE # 20603  
 REVISION 4, 5/2/22

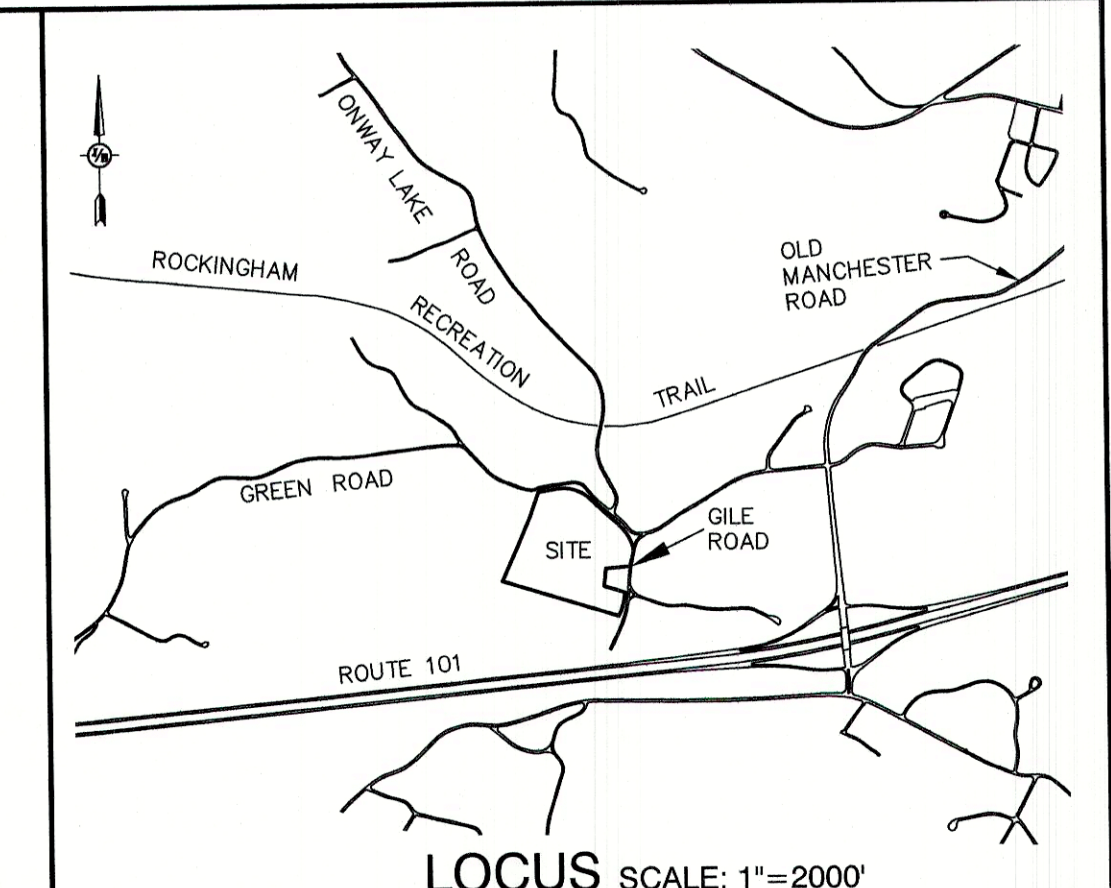
**PLAN REFERENCES:**

- "A SURVEY AND PLAT OF LOT LINE ADJUSTMENT PREPARED FOR WALDOBOROUGH, LLC SITUATED IN THE TOWN OF RAYMOND, NH; PREPARED BY JONES & BEACH ENGINEERS, INC. RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAT D-36150."
- "A SURVEY AND PLAT OF SUBDIVISION PREPARED FOR WALDOBOROUGH, LLC SITUATED IN THE TOWN OF RAYMOND, NH; PREPARED BY BLAISDELL SURVEY, LLC; DATED DECEMBER 7, 2011 RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAT D-37323"
- "SUBDIVISION PLAN RATTLESNAKE HILL RAYMOND, NH PREPARED FOR WILLIAM RODONIS; PREPARED BY ALLAN H. SWANSON, INC - LAND SURVEYORS; DATED OCTOBER 18, 1976; RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAT D-6614."
- PLANS OF PROPOSED BRIDGE AID PROJECT N.H. PROJECT NO. 10467 ONWAY LAKE ROAD; DATED FEBRUARY 1987; PREPARED BY THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.



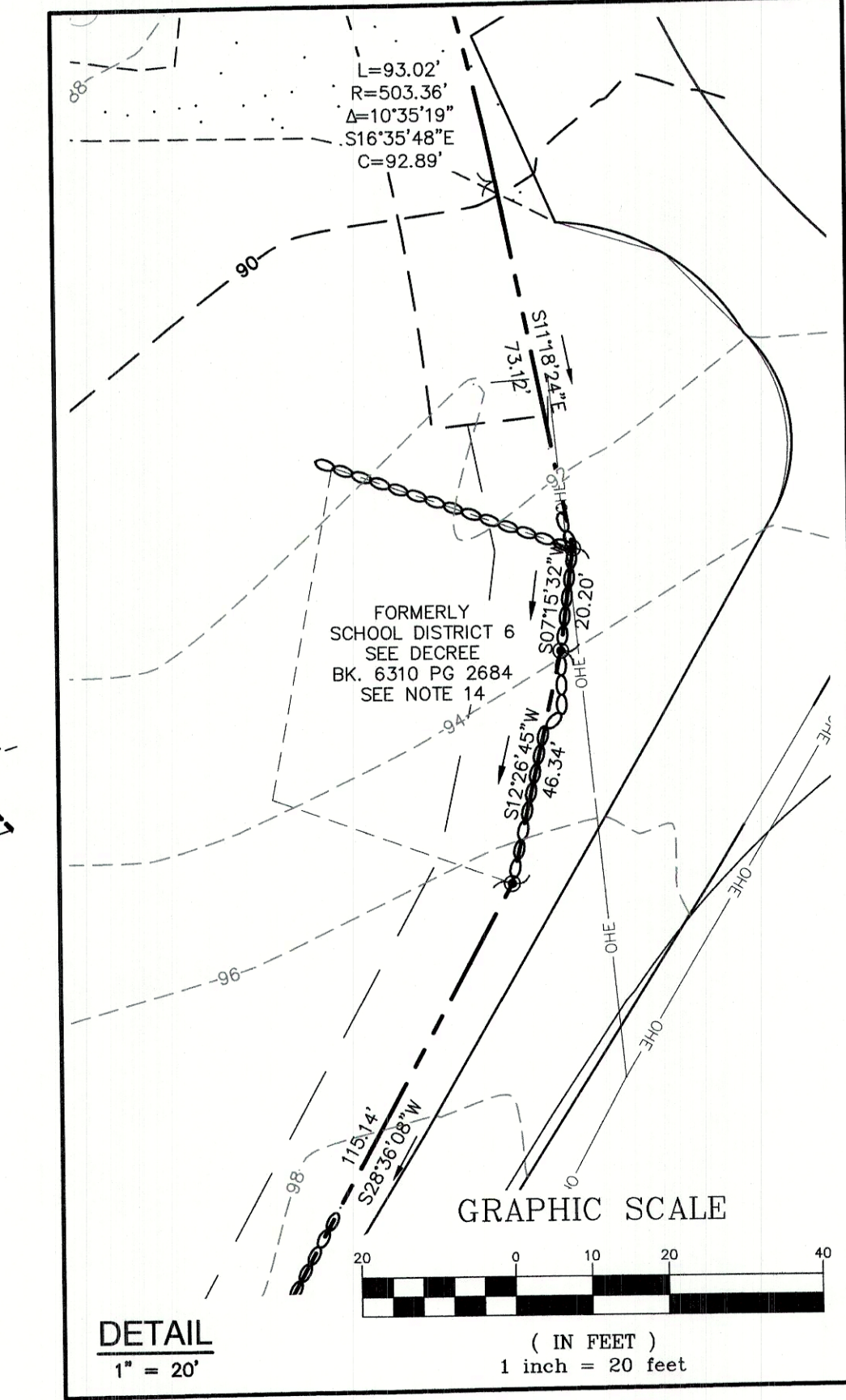
**GENERAL LEGEND**

EXISTING	DESCRIPTION
	PROPERTY LINES
	SETBACK LINES
	STONEWALL
	ZONE LINE
	EASEMENT
	EDGE OF PAVEMENT
	DRAINAGE LINE
	IRON PIPE/IRON ROD
	IRON ROD/DRILL HOLE
	STONE/GRANITE BOUND
	DOUBLE POST SIGN
	SINGLE POST SIGN
	UTILITY POLE
	SINGLE GRATE CATCH BASIN
	CULVERT W/FLARED END SECTION



**NOTES:**

- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING BOUNDARY FOR LOT 15 AS INDICATED ON THE TOWN OF RAYMOND TAX MAP 22.
- ZONING DISTRICT: C1 COMMERCIAL  
LOT AREA MINIMUM = 40,000 SF  
LOT FRONTAGE MINIMUM = 50'  
BUILDING SETBACKS (MINIMUM):  
FRONT SETBACK = 15'  
SIDE SETBACK = 15'  
REAR SETBACK = 15'  
WETLAND SETBACK = 25'
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- THE SUBJECT PARCEL IS LOCATED IN UNSHADED ZONE X DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 3301500100E, WITH EFFECTIVE DATE OF MAY 17, 2005, FOR COMMUNITY PANEL NO. 190 OF 681, IN ROCKINGHAM COUNTY, STATE OF NEW HAMPSHIRE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES DURING SUMMER 2021 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
  - THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
  - THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
  - THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
  - THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- BASIS OF BEARING: HORIZONTAL ~ MAGNETIC NORTH PER PLAN REFERENCE #1.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE TOWN OF RAYMOND TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE TOWN OF RAYMOND ASSESSOR'S OFFICE, THE ROCKINGHAM COUNTY REGISTRY OF DEEDS, NHDOT AND OTHER SOURCES.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO TRACE THE BOUNDARY LINES OF RECORDED DEEDS AND PLANS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW, UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 15300.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
- THE AREA INDICATED IN THE DETAIL AS BEING "FORMERLY SCHOOL DISTRICT 6" IS NOW PART OF LOT 15. SEE DECREE RECORDED AT RCRD BOOK 6310 PAGE 2684. ALSO SEE ACKNOWLEDGMENT FROM THE RAYMOND SCHOOL DISTRICT RECORDED AT THE RCRD BOOK 6161 PAGE 183 & 184.
- ABUTTER HAD BEEN PLANTING PLANTS ON THE HILLSIDE WITHIN THE APPROXIMATE AREA INDICATED HEREON. PROPERTY LINE WAS STAKED ON AUGUST 29, 2020.



**SOIL NOTES:**

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.

THIS SITE SPECIFIC SOIL SURVEY (SSSS) WAS PRODUCED OCTOBER 15, 2021, AND WAS PREPARED BY JAMES P. GOVE, CSS #004, GOVE ENVIRONMENTAL SERVICES, INC. THE SURVEY AREA IS LOCATED AT 3 GILE ROAD, RAYMOND, NH.

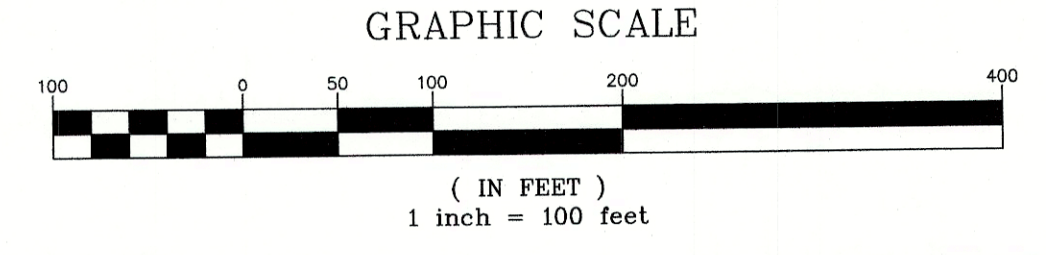
SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH. ISSUE # 10, JANUARY 2011. THE NUMERIC LEGEND WAS AMENDED TO IDENTIFY THE CORRECT SOIL COMPONENTS OF THE COMPLEX.

HYDROLOGIC SOIL GROUP FROM KSAT VALUES FOR NEW HAMPSHIRE SOILS, SOCIETY OF SOIL SCIENTISTS OF NEW ENGLAND, SPECIAL PUBLICATION NO. 5, SEPTEMBER, 2009

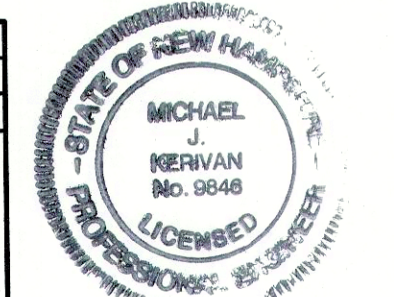
SSSS SYM.	SSSS MAP NAME	HISS SYM.	HYDROLOGIC SOIL GRP.
67	PAXTON, VERY STONY	223	C
115	SCARBORO MUCK	621	D
313	DEERFIELD LOAMY SAND	311	B
400EADD	UDORTHENTS, SANDY	464	D
400AFAB	UDORTHENTS, SANDY	36X	B
400HADD	UDORTHENTS, SANDY	764	D
400HAFD	UDORTHENTS, SANDY	76X	D
400AAFBB	UDORTHENTS, SANDY	16X	B
546	WALPOLE LOAMY SAND	511	C

SLOPE PHASE:

0-8%	B	15-25%	D
8-15%	C	25%+	E



Design: JAC	Draft: DJM	Date: 11/04/21
Checked: JAC	Scale: AS-NOTED	Project No.: 20603
Drawing Name: 20603-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
4	5/2/22	REVISED PER TOWN AND AOT COMMENTS	DJM
3	3/23/22	REVISED PER CLIENT & PER TOWN ENGINEER COMMENTS	DJM
2	1/13/22	REVISED FOR NHDES SUBMISSION	DJM
1	12/01/21	MINOR POND REVISIONS	DJM
0	11/04/21	ISSUED FOR REVIEW	DJM
		REVISION	BY

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. Stratham, NH 03885

Civil Engineering Services

603-772-4746  
FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **EXISTING CONDITIONS PLAN**

Project: **LAYDOWN YARD**  
**10 SCRIBNER ROAD, RAYMOND, NH, 03077**

Applicant/Owner: **I.C. REED & SONS, INC.**  
**P.O. BOX 968 RAYMOND, NH 03077 BK 6166 PG 2270**

DRAWING No.

**C1**

SHEET 2 OF 11  
JBE PROJECT NO. 20603

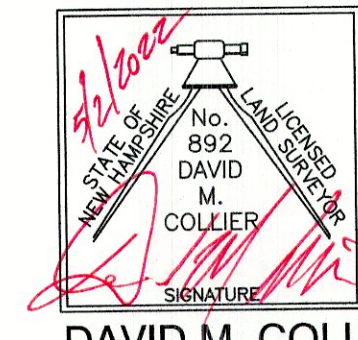
**CERTIFICATION:**

PURSUANT TO RSA 678:18-III AND RSA 672:14

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

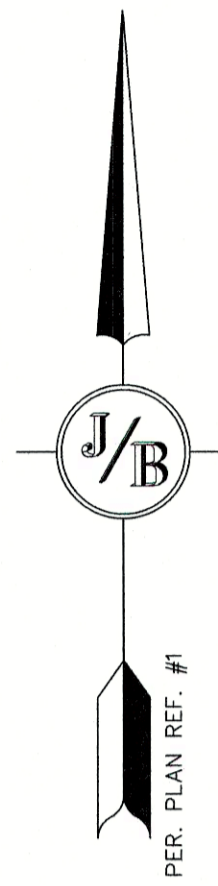


DAVID M. COLLIER, LLS 892  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

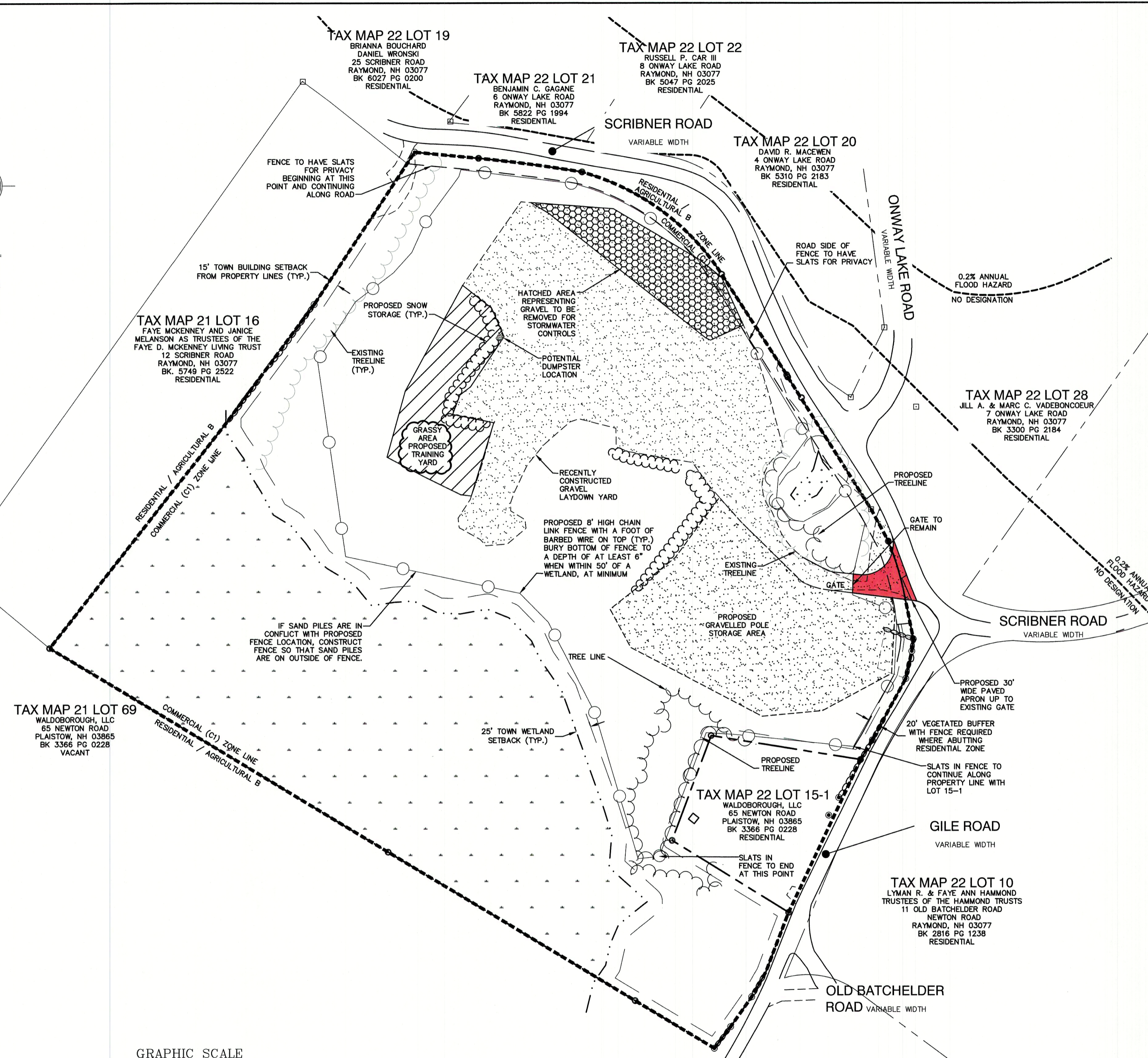
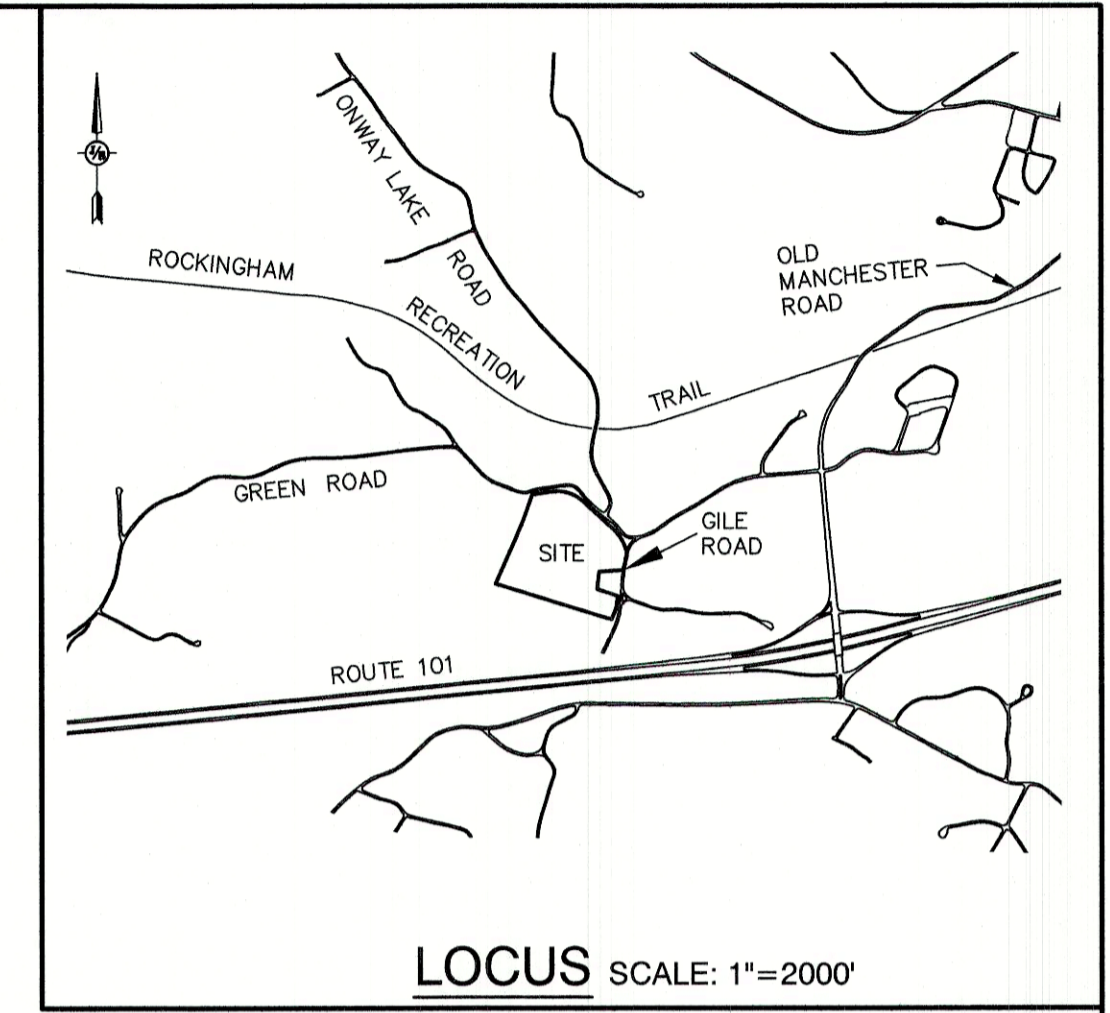
DATE: 11/13/22

PROJECT PARCEL  
TOWN OF RAYMOND  
TAX MAP 22, LOT 15

TOTAL LOT AREA  
1,160,277 SQ. FT.  
26.64 ACRES

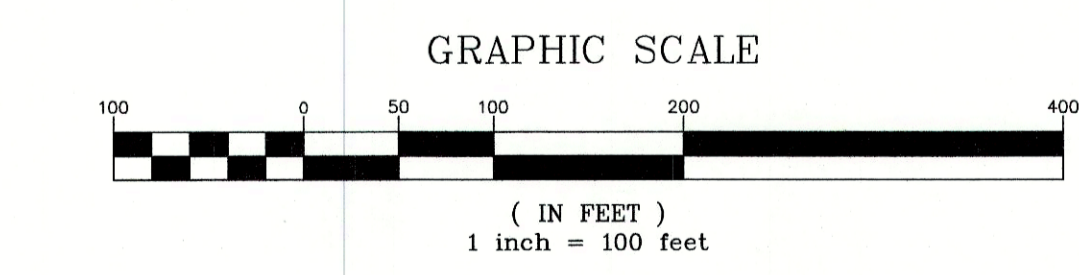


PER. PLAN REF. #



**SITE NOTES:**

- THE INTENT OF THIS PLAN IS TO SHOW A RECENTLY CONSTRUCTED GRAVEL LAYDOWN YARD ON THE SUBJECT PARCEL AS WELL AS A PROPOSED GRAVELLED POLE STORAGE AREA AND OTHER ASSOCIATED SITE IMPROVEMENTS.
- ZONING DISTRICT: COMMERCIAL 1 (C1)  
LOT AREA MINIMUM = 21,780 SF  
LOT FRONTAGE MINIMUM = 50'  
BUILDING SETBACKS (MINIMUM):  
FRONT SETBACK = 15'  
SIDE SETBACK = 15'  
REAR SETBACK = 15'  
WETLAND SETBACK = 25'
- NHDES ALTERATION OF TERRAIN PERMIT NO. , DATED
- THE SUBJECT PARCEL LIES WITHIN THE TOWN OF RAYMOND GROUNDWATER PROTECTION ZONE PER "OFFICIAL ZONING 2018 MAP B".
- EXISTING IMPERVIOUS COVERAGE = 194,000 S.F. = 16.8%  
PROPOSED IMPERVIOUS COVERAGE = 262,000 S.F. = 22.6%
- WITH THE APPROVAL OF THIS PLAN BY THE TOWN OF RAYMOND, NH PLANNING BOARD, THE FOLLOWING WAIVERS ARE REQUESTED:  
- OUTDOOR LIGHTING STANDARDS GENERAL REQUIREMENT NO. 2 - FULL CUT-OFF FIXTURES
- WITH THE APPROVAL OF THIS PLAN BY THE TOWN OF RAYMOND, NH PLANNING BOARD, A CONDITIONAL USE PERMIT IS REQUESTED TO PERMIT A PARCEL THAT IS MORE THAN 15% COVERED BY IMPERVIOUS SURFACES WITHIN THE GROUNDWATER PROTECTION ZONE.
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DGP SAFE PRIOR TO DIGGING ONSITE OR OFFSITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- THE SUBJECT PARCEL IS LOCATED IN UNSHADED ZONE X DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 3301501010E, WITH EFFECTIVE DATE OF MAY 17, 2005, FOR COMMUNITY PANEL NO. 190 OF 681, IN ROCKINGHAM COUNTY, STATE OF NEW HAMPSHIRE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.). THIS DOCUMENT IS TO BE KEPT ONSITE AT ALL TIMES AND UPDATED AS REQUIRED.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- SNOW TO BE STORED AT EDGE OF GRAVEL AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- EXPANSION OR REDEVELOPMENT ACTIVITIES SHALL REQUIRE AN AMENDED STORMWATER PLAN AND SHALL NOT INFILTRATE STORMWATER THROUGH AREAS CONTAINING CONTAMINATED SOILS WITHOUT COMPLETING A PHASE I ASSESSMENT IN CONFORMANCE WITH ASTM E 1527-05, ALSO REFERRED TO AS ALL APPROPRIATE INQUIRY (AAI).
- ANIMAL MANURES, FERTILIZERS, AND COMPOST MUST BE STORED IN ACCORDANCE WITH THE MANUAL OF BEST MANAGEMENT PRACTICES FOR AGRICULTURE IN NEW HAMPSHIRE, NH DEPARTMENT OF AGRICULTURE, MARKETS, AND FOOD (JUNE 2011), AND SUBSEQUENT REVISIONS.
- ALL REGULATED SUBSTANCES STORED IN CONTAINERS WITH A CAPACITY OF MORE THAN 5 GALLONS MUST BE STORED IN PRODUCT-TIGHT CONTAINERS ON AN IMPERVIOUS SURFACE DESIGNED AND MAINTAINED TO PREVENT FLOW TO EXPOSED SOILS, FLOOR DRAINS, AND OUTSIDE DRAINS.
- FACILITIES WHERE REGULATED SUBSTANCES ARE STORED MUST BE SECURED AGAINST UNAUTHORIZED ENTRY BY MEANS OF A DOOR(S) AND/OR GATE(S) WHICH ARE LOCKED WHEN AUTHORIZED PERSONNEL ARE NOT PRESENT AND MUST BE INSPECTED WEEKLY BY THE FACILITY OWNER.
- OUTDOOR STORAGE AREAS FOR REGULATED SUBSTANCES, ASSOCIATED MATERIAL OR WASTE MUST BE PROTECTED FROM EXPOSURE TO PRECIPITATION AND MUST BE LOCATED AT LEAST 75 FEET FROM SURFACE WATER OR STORM DRAINS, WETLANDS, PRIVATE WELLS AND OUTSIDE THE SANITARY PROTECTIVE RADIUS OF WELLS USED BY PUBLIC WATER SYSTEMS.
- SECONDARY CONTAINMENT MUST BE PROVIDED FOR OUTDOOR STORAGE OF REGULATED SUBSTANCES IF AN AGGREGATE OF MORE THAN 275 GALLONS OF REGULATED SUBSTANCES ARE STORED OUTDOORS ON ANY PARTICULAR PROPERTY.
- CONTAINERS IN WHICH REGULATED SUBSTANCES ARE STORED MUST BE CLEARLY AND VISIBLY LABELED AND MUST BE KEPT CLOSED AND SEALED WHEN MATERIAL IS NOT BEING TRANSFERRED FROM ONE CONTAINER TO ANOTHER.
- PRIOR TO ANY LAND DISTURBING ACTIVITIES, ALL INACTIVE WELLS ON THE PROPERTY, NOT IN USE OR PROPERLY MAINTAINED AT THE TIME THE PLAN IS SUBMITTED, SHALL BE CONSIDERED ABANDONED AND MUST BE SEALED IN ACCORDANCE WITH WE 604 OF THE NEW HAMPSHIRE WATER WELL BOARD RULES.



APPROVED - RAYMOND, NH  
PLANNING BOARD

---

PROJECT PARCEL  
TOWN OF RAYMOND  
TAX MAP 22, LOT 15

---

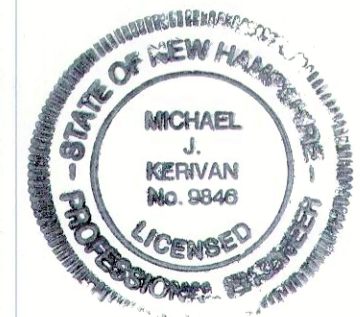
TOTAL LOT AREA  
1,180,277 SQ. FT.  
26.64 ACRES

---

DATE:

F:\CADD\MASTER STANDARD\dwg\JB-LAYOUTS.dwg 3/12/2015 3:27:29 PM EDT

Design:	JAC	Draft:	DJM	Date:	11/04/21
Checked:	JAC	Scale:	AS-NOTED	Project No.:	20603
Drawing Name:	20603-PLAN.dwg				
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.					



REV.	DATE	REVISION	BY
4	5/2/22	REVISED PER TOWN AND AOT COMMENTS	DJM
3	3/23/22	REVISED PER CLIENT & PER TOWN ENGINEER COMMENTS	DJM
2	1/13/22	REVISED FOR NHDES SUBMISSION	DJM
1	12/01/21	MINOR POND REVISIONS	DJM
0	11/04/21	ISSUED FOR REVIEW	DJM

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

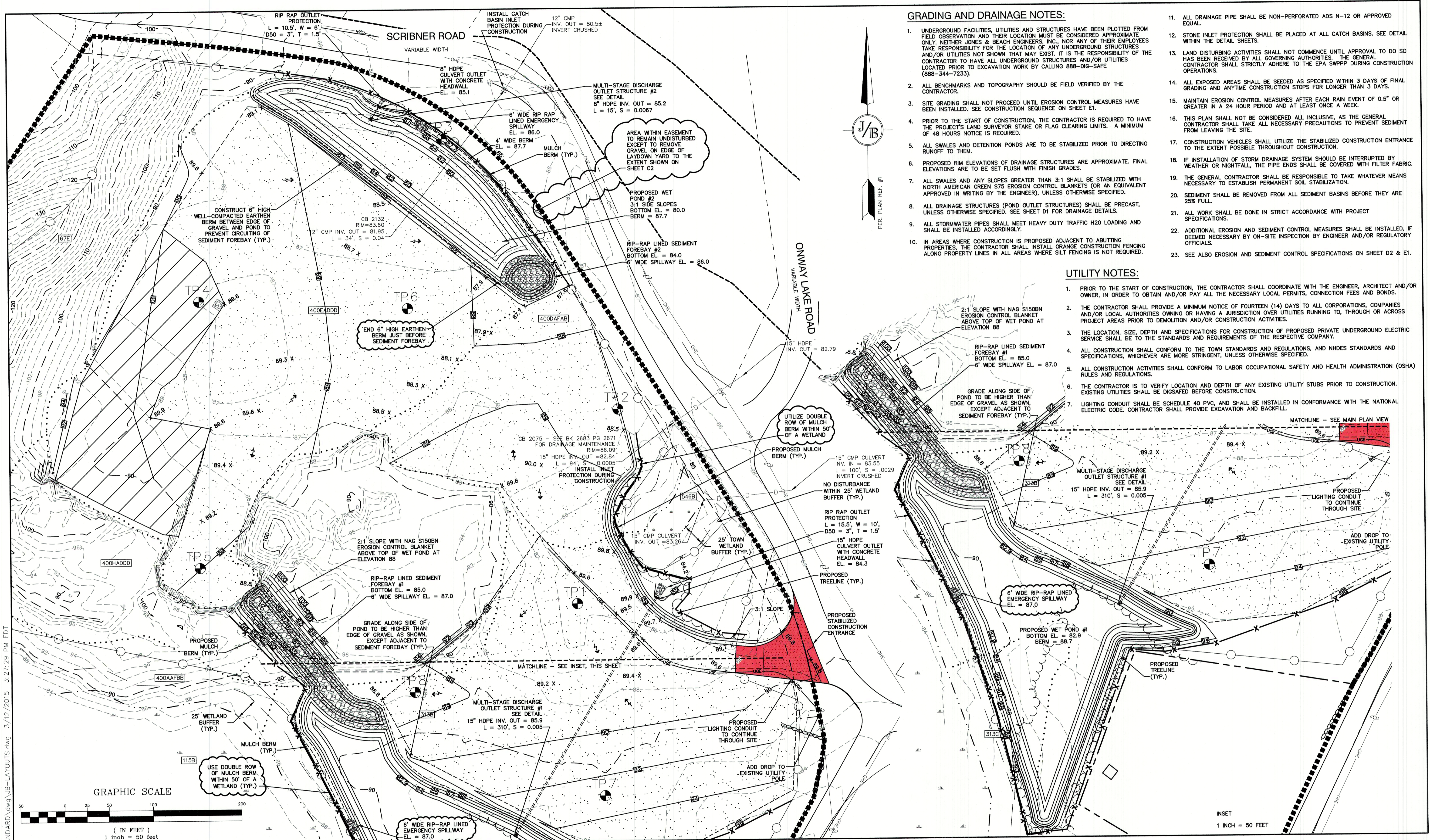
85 Portsmouth Ave. Stratham, NH 03885

Civil Engineering Services

603-772-4746  
603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>SITE PLAN</b>
Project:	<b>LAYDOWN YARD</b>
Applicant/Owner:	<b>10 SCRIBNER ROAD, RAYMOND, NH, 03077</b> I.C. REED & SONS, INC. P.O. BOX 968 RAYMOND, NH 03077 BK 6166 PG 2270

DRAWING No.	<b>C2</b>
SHEET 3 OF 11	JBE PROJECT NO. 20603

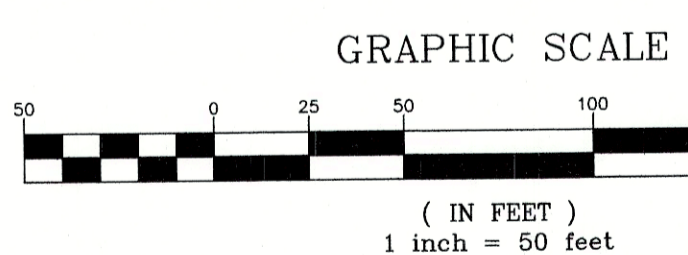


**GRADING AND DRAINAGE NOTES:**

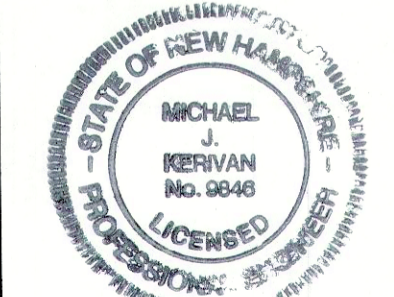
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE STRUCTURES (POND OUTLET STRUCTURES) SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED. SEE SHEET D1 FOR DRAINAGE DETAILS.
- ALL STORMWATER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- ALL EXPOSED AREAS SHALL BE SEED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING AND ANYTIME CONSTRUCTION STOPS FOR LONGER THAN 3 DAYS.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET D2 & E1.

**UTILITY NOTES:**

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
- THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UNDERGROUND ELECTRIC SERVICE SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE COMPANY.
- ALL CONSTRUCTION SHALL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ANY EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHALL BE DISGAGED BEFORE CONSTRUCTION.
- LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.



Design: JAC Draft: DJM Date: 11/04/21  
 Checked: JAC Scale: AS-NOTED Project No.: 20603  
 Drawing Name: 20603-PLAN.dwg  
 THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
4	5/2/22	REVISED PER TOWN AND AOT COMMENTS	DJM
3	3/23/22	REVISED PER CLIENT & PER TOWN ENGINEER COMMENTS	DJM
2	1/13/22	REVISED FOR NHDES SUBMISSION	DJM
1	12/01/21	MINOR POND REVISIONS	DJM
0	11/04/21	ISSUED FOR REVIEW	DJM
		REVISION	BY

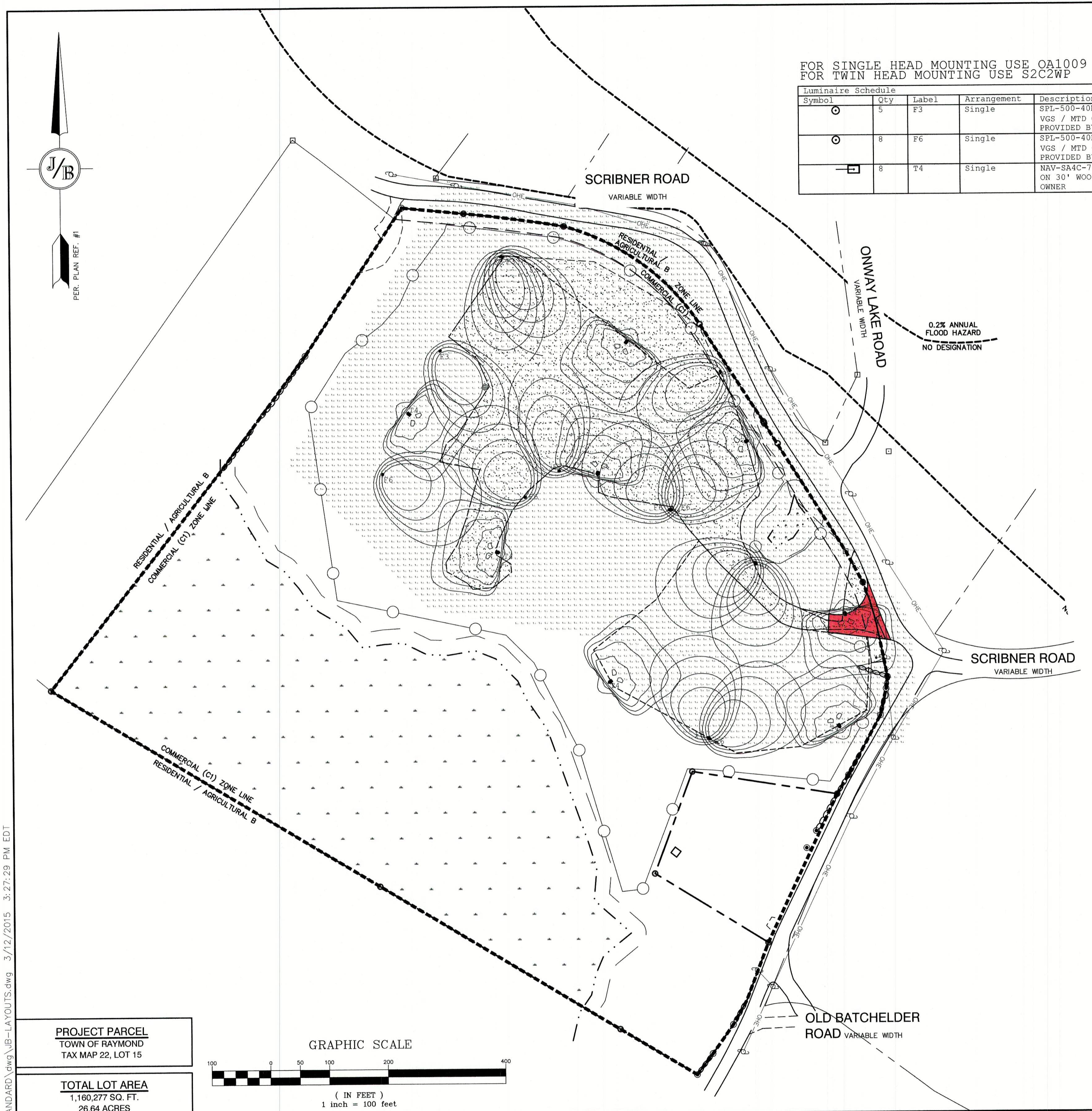
Designed and Produced in NH  
**J/B Jones & Beach Engineers, Inc.**  
*Civil Engineering Services*  
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **GRADING AND UTILITY PLAN**  
 Project: **LAYDOWN YARD**  
**10 SCRIBNER ROAD, RAYMOND, NH, 03077**  
 Applicant/Owner: **I.C. REED & SONS, INC.**  
**P.O. BOX 968 RAYMOND, NH 03077 BK 6166 PG 2270**

DRAWING No. **C3**  
 SHEET 4 OF 11  
 JBE PROJECT NO. 20603

F:\CADD\MASTER STANDARD.dwg\JBE-LAYOUTS.dwg 3/12/2015 3:27:29 PM EDT

F:\CADD\MASTER STANDARD\dwg\_JB-LAYOUTS.dwg 3/12/2015 3:27:29 PM EDT



FOR SINGLE HEAD MOUNTING USE QA1009  
FOR TWIN HEAD MOUNTING USE S2C2WP

Symbol	Qty	Label	Arrangement	Description
○	5	F3	Single	SPL-500-40K-30-V01-BL-TL-NDIM-VGS / MTD ON 30' WOOD POLE PROVIDED BY OTHERS
○	8	F6	Single	SPL-500-40K-60-V01-BL-TL-NDIM-VGS / MTD ON 30' WOOD POLE PROVIDED BY OWNER
□	8	T4	Single	NAV-SA4C-740-U-74PT-HSS / MTD ON 30' WOOD POLE PROVIDED BY OWNER

**LIGHTING AND ELECTRICAL NOTES:**

- SITE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
- CONTRACTOR SHALL INSTALL PROPOSED LIGHT POLES ACCORDING TO TOWN REGULATIONS.
- ALL OUTDOOR LIGHTING SYSTEMS SHALL BE EQUIPPED WITH TIMERS TO REDUCE ILLUMINATION LEVELS TO NON-OPERATIONAL VALUES PER TOWN REGULATIONS.
- LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
- ILLUMINATION READINGS SHOWN ARE BASED ON A TOTAL LLF OF 0.75 AT GRADE. ILLUMINATION READINGS SHOWN ARE IN UNITS OF FOOT-CANDELES.
- FIXTURES SHOWN HEREON ARE FLOOD LIGHTS WITH VISORS AND ARE NOT CUT-OFF FIXTURES.
- FIXTURES SHALL BE ORDERED WITH A 0-10V DIMMING DRIVER.
- THE PROPOSED LIGHTING CALCULATIONS AND DESIGN WAS PERFORMED BY GHARRON, INC., P.O. BOX 4550, MANCHESTER, NH 03108, ATTENTION KEN SWEENEY. ALL LIGHTS SHOULD BE PURCHASED FROM THIS COMPANY, OR AN EQUAL. LIGHTING DESIGN SHOULD BE SUBMITTED FOR REVIEW IF EQUAL SUBSTITUTIONS ARE PROPOSED BY THE CONTRACTOR OR OWNER.

**Project:** Catalog # Type

**Proposibility:** None Date

**Lumark**

Area / Site Luminaire

**Product Features**

- Interactive Menu
  - Ordering Information
  - Mounting Details
  - Optical Configurations
  - Product Specifications
  - Energy and Performance Data
  - Control Options

**Quick Facts**

- Patented, high-efficiency AccuLED Optics system provides uniform illumination in 16 different optical distributions
- Lumen packages range from 4,700 - 50,000 nominal lumens (50W - 380W)
- Tool-less entry, hinged removable power door for easy maintenance
- Efficacies up to 158 lumens per watt

**Dimensional Details**

**Product Certifications**

**Connected Systems**

- WaveLinx
- Enlighted

**Lighting solutions**  
Wood pole top brackets

WRAP AROUND ADAPTERS	Pole Diameter (Inches)	Figure
WRAP15	3.5"	1
WRAP20	4.5"	2
WRAP25	5.5"	3
WRAP30	6.5"	4

**CROSS ARM STEEL BRACKET FOR WOOD POLES** (Not for use with steel or aluminum. See notes)

Catalog Number	Pole Diameter (Inches)	Fixture Configuration	EPA	Figure
S2C2WP	3"	2 in Line Offset	0.9	1
S2C2WB	4"	2 in Line Offset	1.6	2
S2C2WP	6"	4 in Line	4.5	3
S2C2WP	8"	8 in Line	6.5	4

**WOOD POLE FLOODLIGHT BRACKET**

Catalog Number	Configuration	Mount Size (Inches)	Net Weight (Pounds)
W001	Single Mount	2.5" OD	13
W002	Twin Mount	2.5" OD	30

**POLE MOUNTED FLOODLIGHT BRACKET FOR WOOD POLES**

Catalog Number	Mount Size (Inches)	Net Weight (Pounds)
P001	2.5" OD	13
P002	3.5" OD	30

**WARNING:** Customer is responsible for engineering analysis to determine pole and fixture compatibility for all applications. Refer to pole/wire paper (PWS) for additional support information. Before installation, make sure proper anchor bolts and fasteners are obtained. Refer to manufacturer's instructions for all hardware, poles, and fasteners. Do not use poles that are not specifically designed for lighting applications. Installation of poles and fixtures must be done in accordance with all applicable codes and regulations. The pole operator is not liable for any damage or injury resulting from improper installation, use, or maintenance. All other trademarks are property of their respective owners. Product availability, specifications, and configurations are subject to change without notice.

**COOPER Lighting Solutions**

**SPEC GRADE LED**  
PRECISION MONOPOINT LUMINAIRE

**SPEC PRO LED SPORTSLIGHTER**  
500W, 700W  
REPLACES UP TO A 1600 WATT METAL HALIDE FIXTURE

- Double-Folded Aluminum Fin HeatSink
- Suitable for Indoor and Outdoor Locations
- Expected Life over 100,000 Hours
- Available in 500W and 700W
- Superior Optics for Exceptional Beam Uniformity
- Industry-Leading 15-Year LED Board Warranty

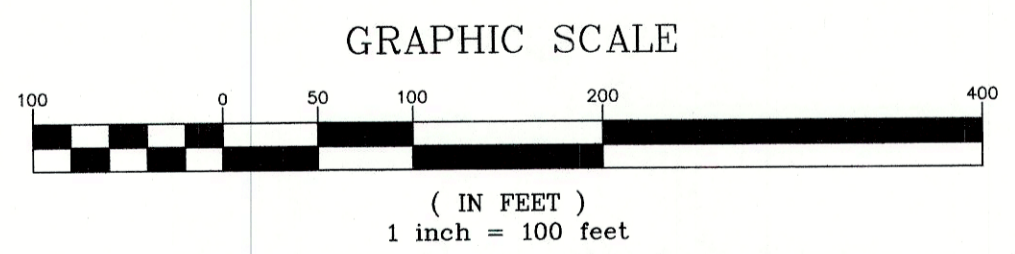
**ORDERING INFORMATION**

SERIES	WATTS	OPTICS	INPUT PWR	FINISH	MOUNTING	DIMMING	OPTIONS
SPL	300	40K	10	SL	TL (to Backer Service Bracket)	NOM (no dimming)	SP-10 (Super Pole Mount)
	700	57K	15	WT	HT (to Backer Service Bracket)	NOM (no dimming)	SP-20 (Super Pole Mount)
				RAL	HT (to Backer Service Bracket)	DOOM (DOOM Dimming)	WSD (Wide Area Flood)
							BSD (Backer Service Bracket)
							SSC (Steel Case)
							SP14 (Mount for 1.5" Dia. Tee)
							MMT (Mounting)
							SYM (Super Mount)

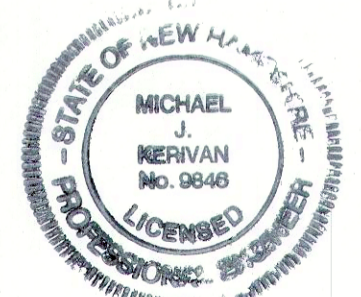
**OPTICS**

**PROJECT PARCEL**  
TOWN OF RAYMOND  
TAX MAP 22, LOT 15

**TOTAL LOT AREA**  
1,160,277 SQ. FT.  
26.64 ACRES



Design: JAC	Draft: DJM	Date: 11/04/21
Checked: JAC	Scale: AS-NOTED	Project No.: 20603
Drawing Name: 20603-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
4	5/2/22	REVISED PER TOWN AND AOT COMMENTS	DJM
3	3/23/22	REVISED PER CLIENT & PER TOWN ENGINEER COMMENTS	DJM
2	1/13/22	REVISED FOR NHDES SUBMISSION	DJM
1	12/01/21	MINOR POND REVISIONS	DJM
0	11/04/21	ISSUED FOR REVIEW	DJM
REV.	DATE	REVISION	BY

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

*Civil Engineering Services*

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

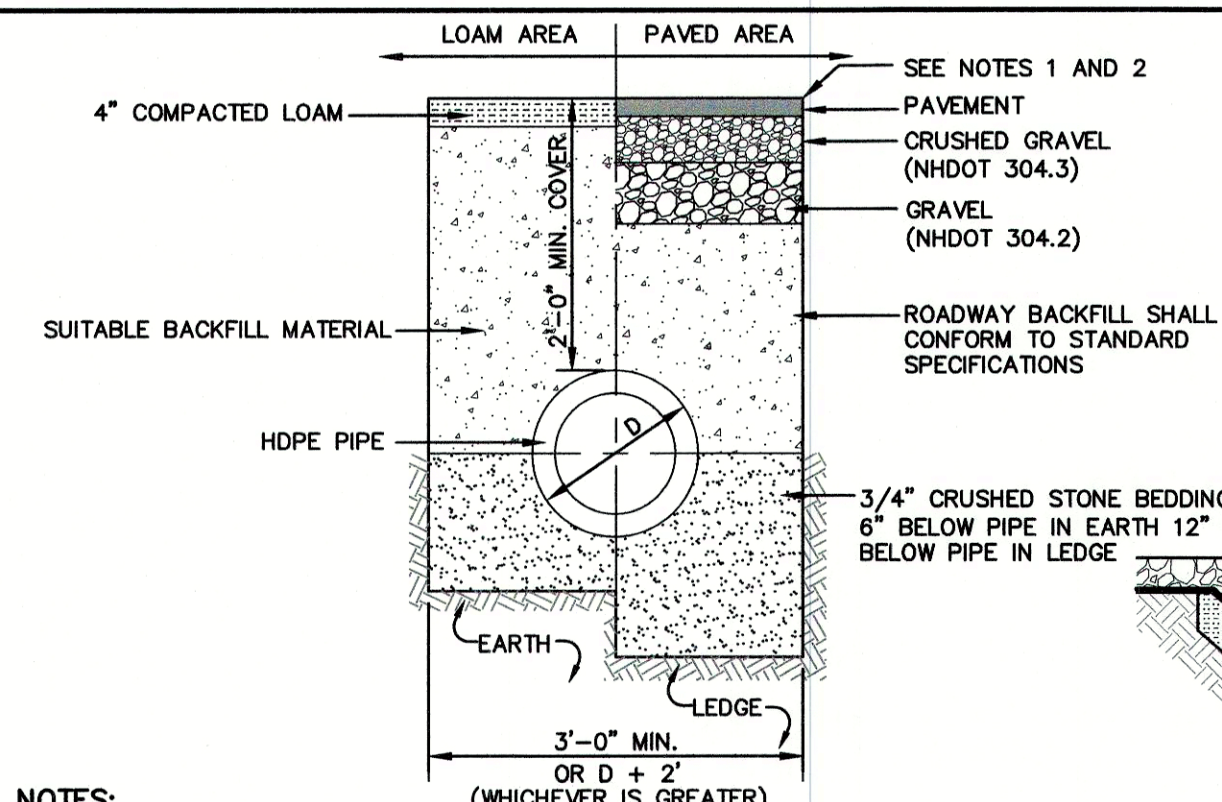
Plan Name: **LIGHTING PLAN**

Project: **LAYDOWN YARD**  
10 SCRIBNER ROAD, RAYMOND, NH, 03077

Owner of Record: **I.C. REED & SONS, INC.**  
P.O. BOX 968 RAYMOND, NH 03077 BK 6166 PG 2270

DRAWING No. **L1**

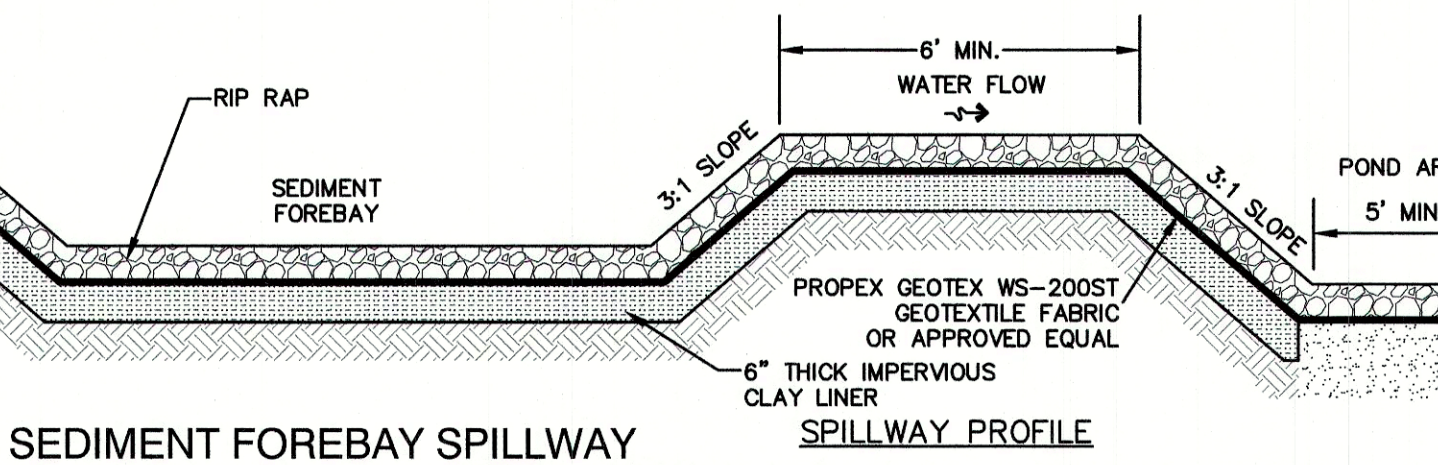
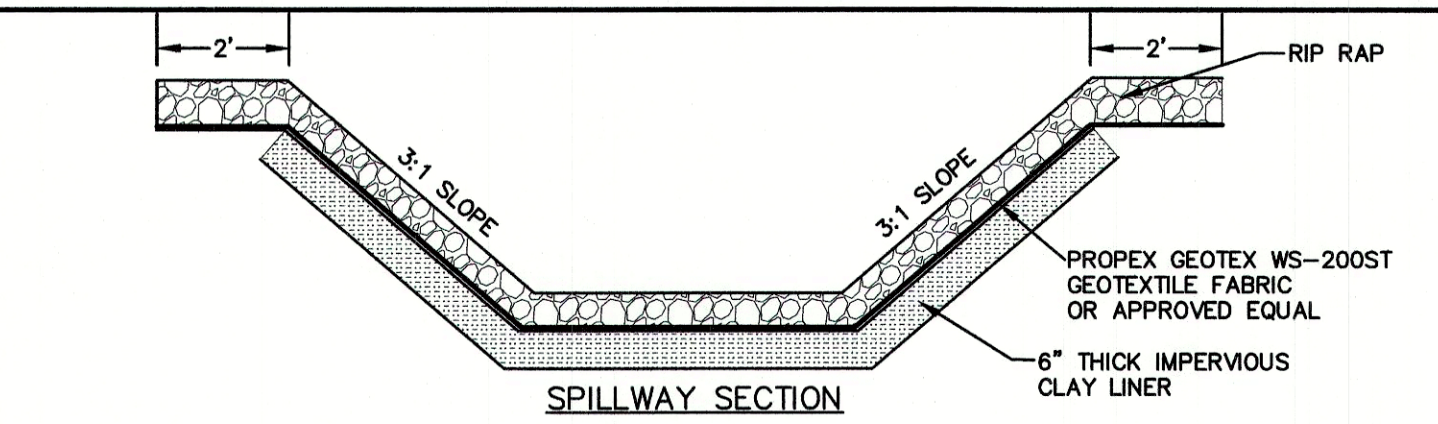
SHEET 5 OF 11  
JBE PROJECT NO. 20603



- NOTES:**
- PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
  - NEW ROADWAY CONSTRUCTION SHALL CONFORM WITH PROJECT AND TOWN SPECIFICATIONS.
  - ALL MATERIALS ARE TO BE COMPACTED TO 95% OF ASTM D-1557.

**DRAINAGE TRENCH**

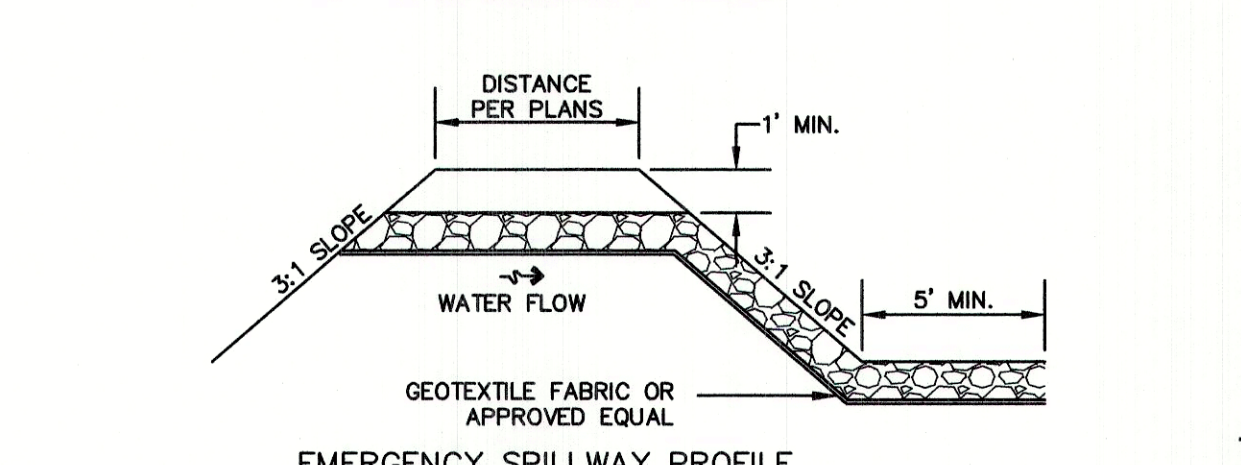
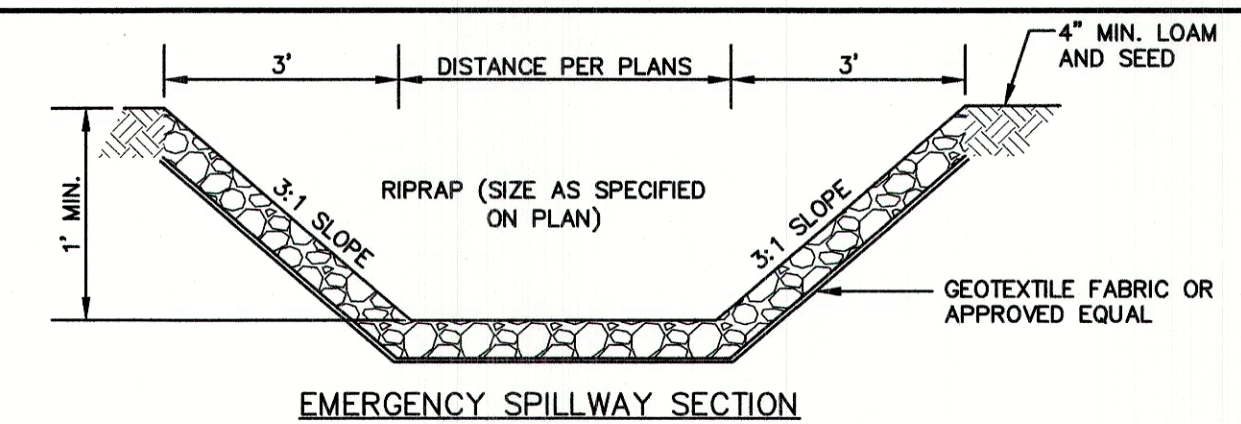
NOT TO SCALE



**SEDIMENT FOREBAY SPILLWAY**

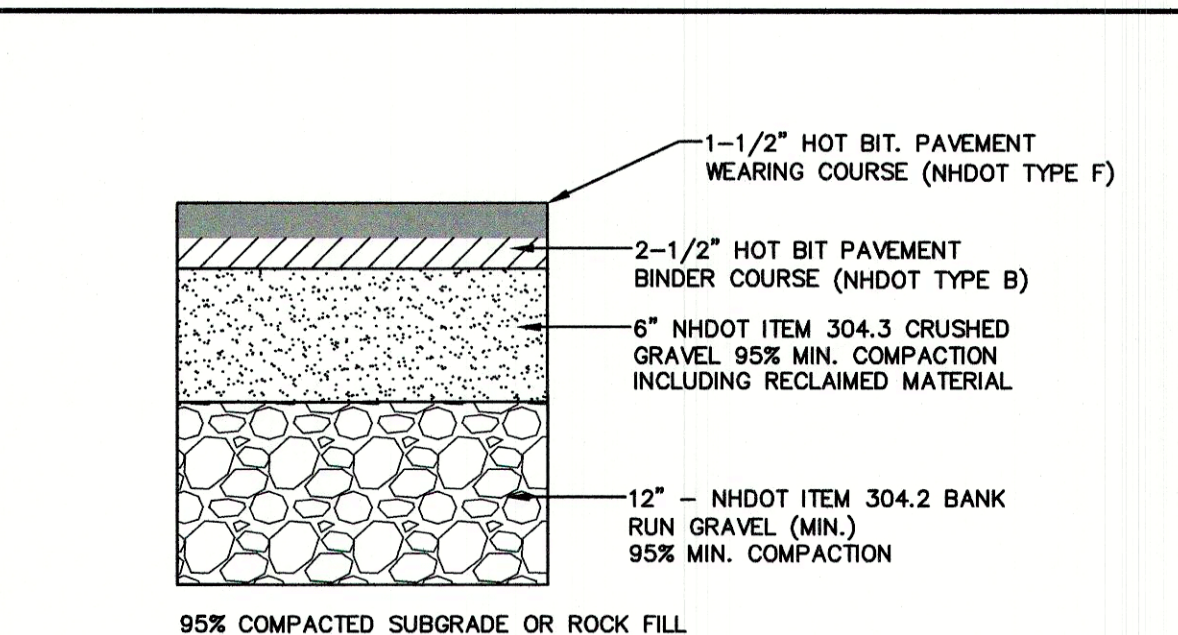
NOT TO SCALE

- NOTES:**
- A 6" THICK IMPERVIOUS CLAY LINER IS TO BE PLACED UNDER ENTIRE SEDIMENT FOREBAY AND SPILLWAY.
  - SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURE WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
  - EMBANKMENT MATERIAL SHALL BE CLEAN MINERAL SOIL FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER FOUR INCHES (4") IN DIAMETER. THIS MATERIAL SHALL BE INSTALLED IN 6" LIFTS COMPACTED TO 92% OF ASTM D-1557, AND SHALL MEET THE FOLLOWING SPECIFICATIONS: 6" PASSING 100%, #4 SIEVE 95-100%, #40 SIEVE 60-90%, #100 SIEVE 40-60%, #200 SIEVE 25-45% (OF THE FRACTION PASSING THE #4 SIEVE). THE CLAY COMPONENT SHALL HAVE A PLASTICITY INDEX OF AT LEAST 8 AND A HYDRAULIC CONDUCTIVITY OF 10 TO THE -6 CM/SEC.
  - 6" THICK IMPERVIOUS CLAY LINER MATERIAL SHALL BE CLEAN SILTY-CLAY BORROW FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES. AND SHALL CONTAIN NO ROCKS OR LUMPS OVER THREE INCHES (3") IN DIAMETER. THIS MATERIAL SHALL BE INSTALLED IN 6" LIFTS COMPACTED TO 92% OF ASTM D-1557, AND SHALL MEET THE FOLLOWING SPECIFICATIONS: 6" PASSING 100%, #4 SIEVE 95-100%, #40 SIEVE 60-90%, #100 SIEVE 40-60%, #200 SIEVE 25-45% (OF THE FRACTION PASSING THE #4 SIEVE). THE CLAY COMPONENT SHALL HAVE A PLASTICITY INDEX OF AT LEAST 8 AND A HYDRAULIC CONDUCTIVITY OF 10 TO THE -6 CM/SEC.
  - COMPACTION AND MATERIALS TESTING SERVICES SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE OWNER.



**EMERGENCY SPILLWAY**

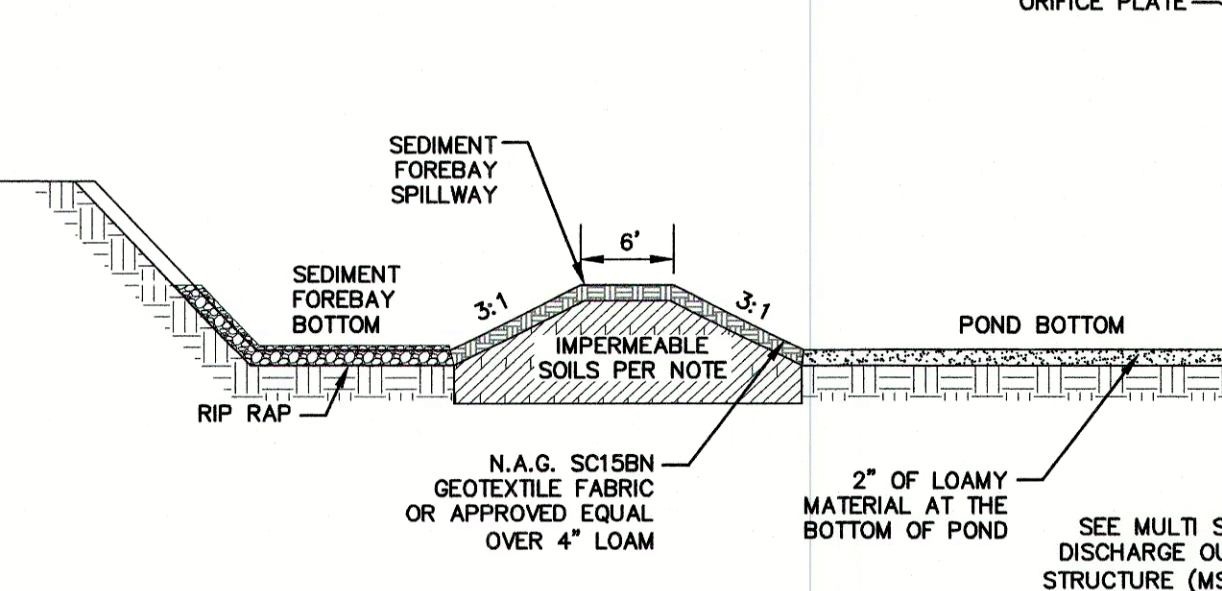
NOT TO SCALE



- NOTES:**
- LOAM AND/OR UNSUITABLE MATERIAL SHALL BE REMOVED TO A SOLID BASE MATERIAL.
  - COMPACTION SHALL BE PERFORMED TO 95% OF THE MATERIAL' MODIFIED PROCTOR VALUE.

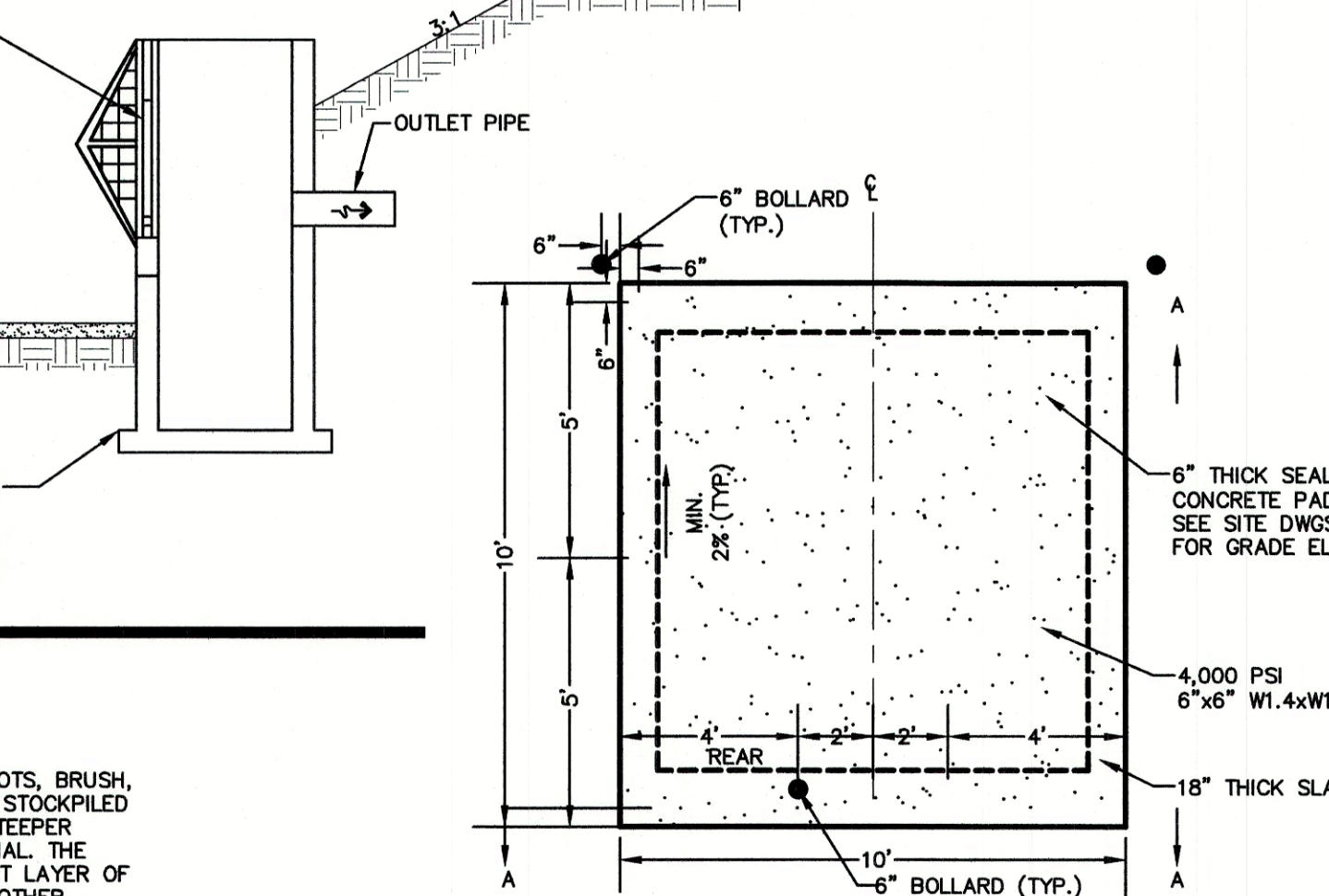
**TYPICAL BITUMINOUS PAVEMENT**

NOT TO SCALE



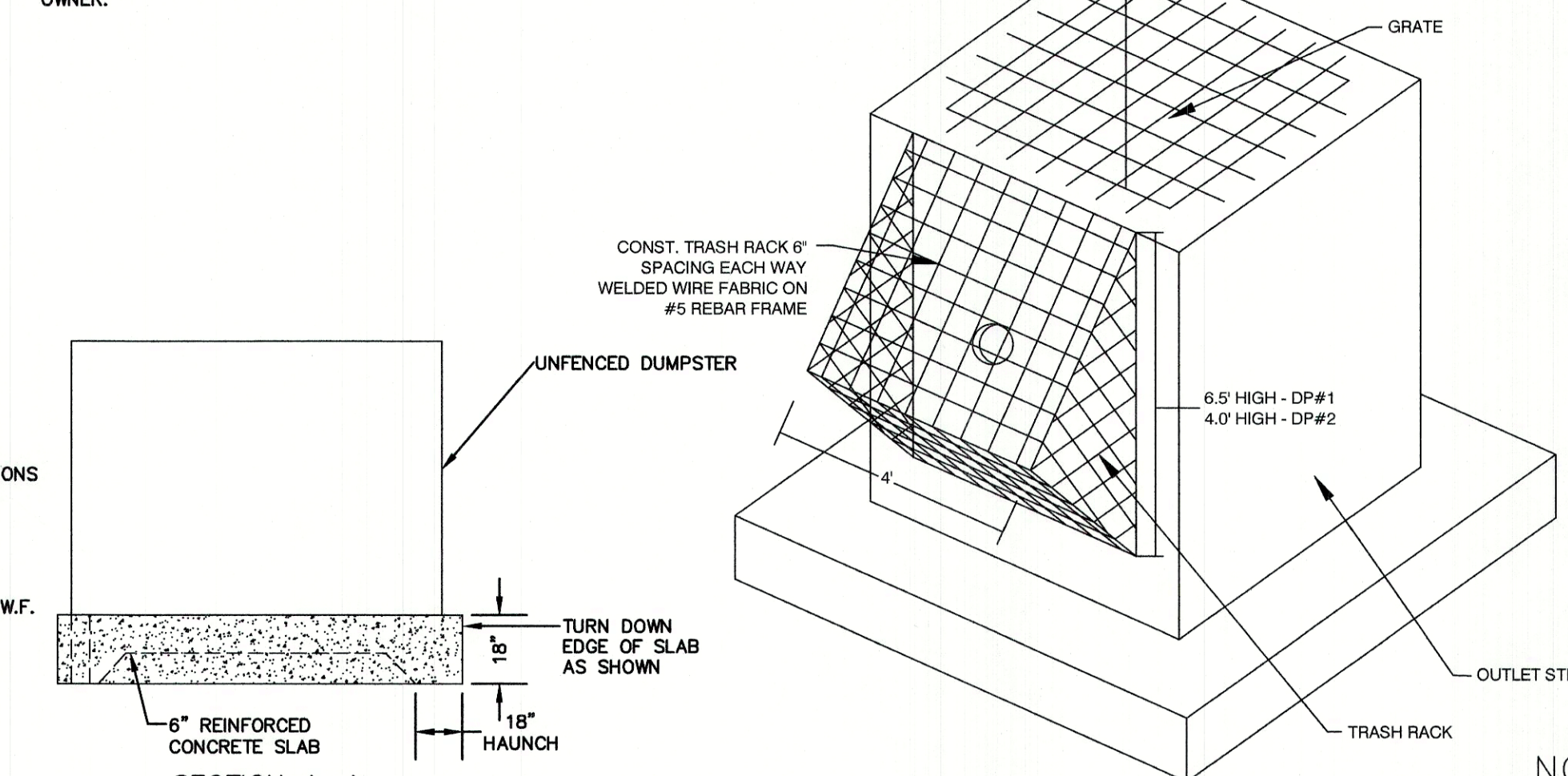
**WET POND SECTION**

NOT TO SCALE



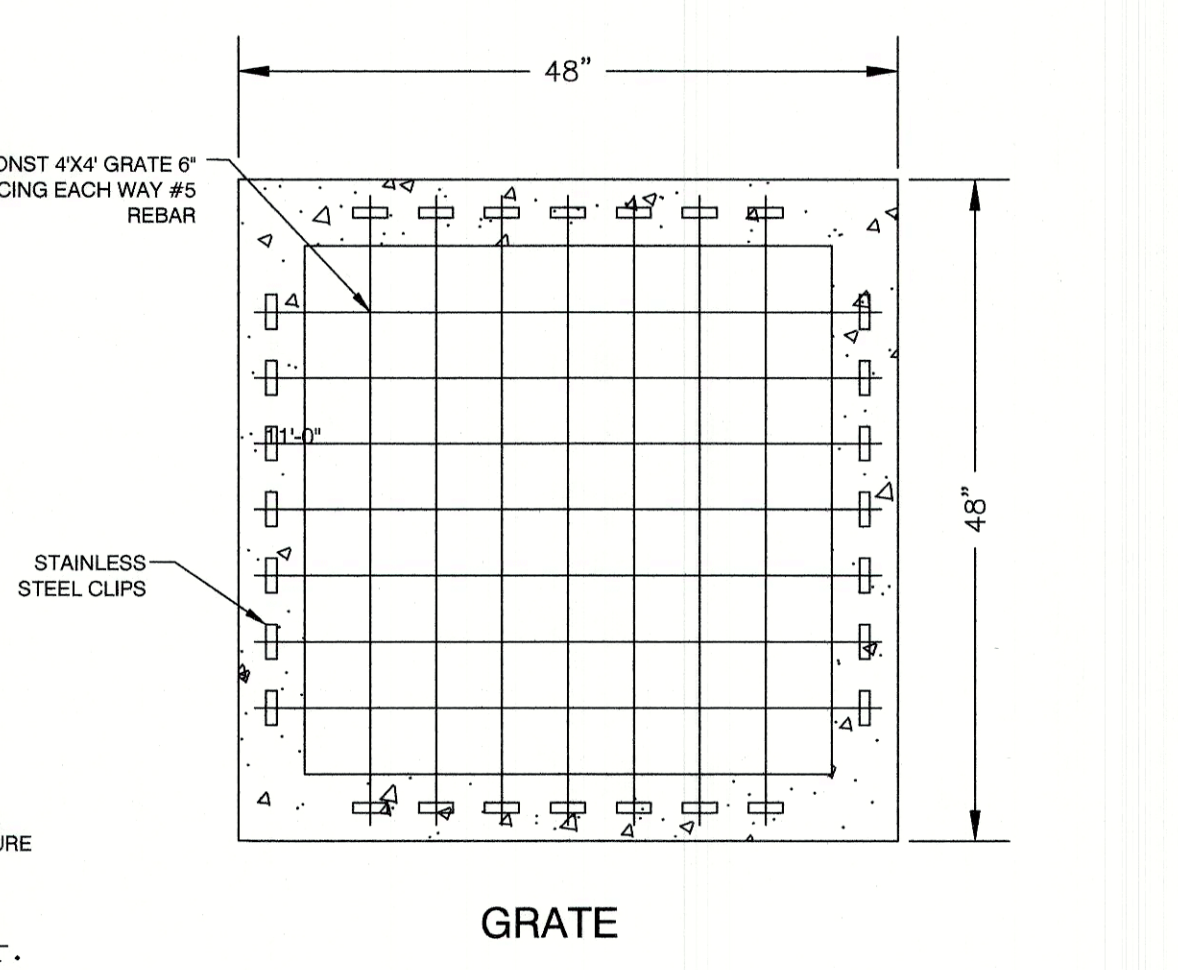
**DUMPSTER SLAB PLAN**

NOT TO SCALE



**TYPICAL INLET TRASH RACKS**

NOT TO SCALE

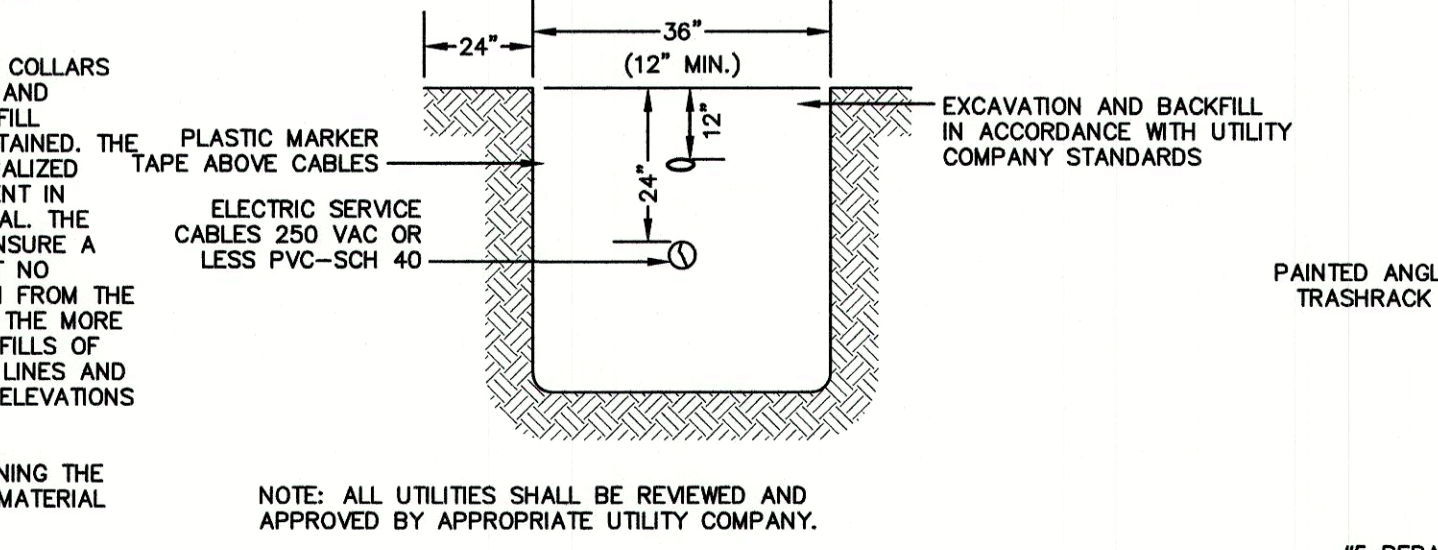


**GRATE**

- NOTE:**
- ALL OUTLET STRUCTURES SHALL BE PRE-CAST WITH A MINIMUM CONCRETE STRENGTH OF 4,000 PSI @ 28 DAYS.
  - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EACH STRUCTURE FOR REVIEW BY THE TOWN.

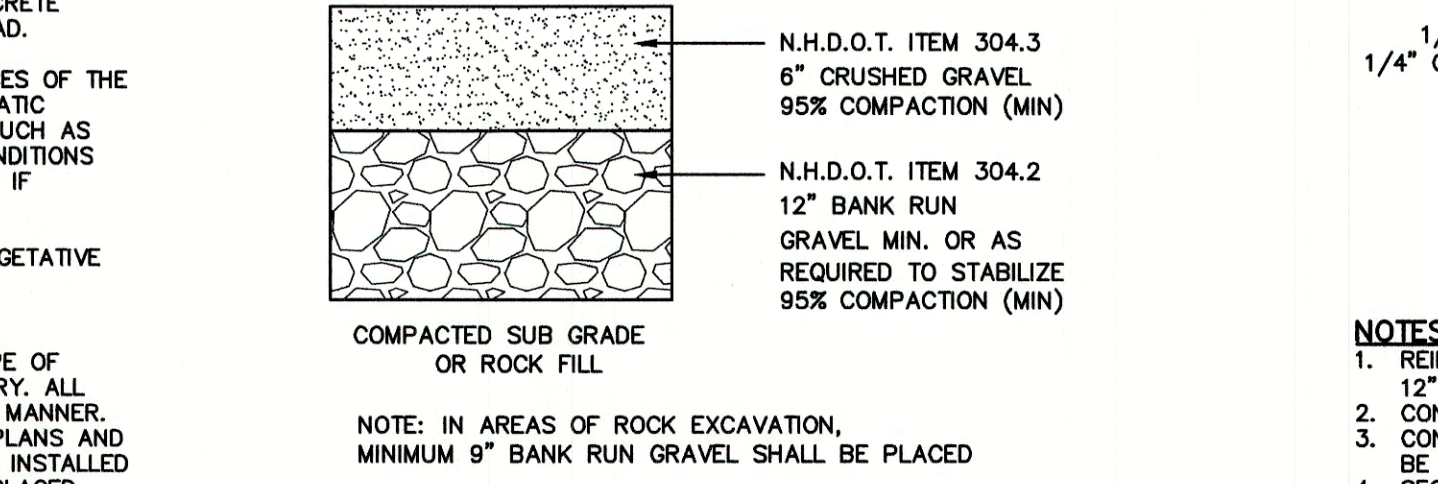
**WET POND CONSTRUCTION CRITERIA**

- FOUNDATION PREPARATION** -- THE FOUNDATION AREA SHALL BE CLEARED OF TREES LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOD, AND RUBBISH. IF NEEDED TO ESTABLISH VEGETATION, THE TOPSOIL AND SOD SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED DAM AND SPILLWAYS. FOUNDATION SURFACES SHALL BE SLOPED NO STEEPER THAN 1:1. THE FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED, IF NECESSARY, SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS. THE CUTOFF TRENCH AND ANY OTHER REQUIRED EXCAVATIONS SHALL BE DUG TO THE LINES AND GRADES SHOWN ON THE PLANS OR AS STAKED IN THE FIELD. IF THEY ARE SUITABLE, EXCAVATED MATERIALS SHALL BE USED IN THE PERMANENT FILL. EXISTING STREAM CHANNELS IN THE FOUNDATION AREA SHALL BE SLOPED NO STEEPER THAN 1:1 AND DEEPENED AND WIDENED AS NECESSARY TO REMOVE ALL STONES, GRAVEL, SAND, STUMPS, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND TO ACCOMMODATE COMPACTION EQUIPMENT. FILL PLACEMENT -- THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOD, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATTER.
- SELECTED BACK FILL MATERIAL** SHALL BE PLACED AROUND STRUCTURES, PIPE CONDUITS AND ANTI SEEP COLLARS AT ABOUT THE SAME RATE ON ALL SIDES, TO PREVENT DAMAGE FROM UNEQUAL LOADING. THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT THE REQUIRED COMPACTION CAN BE OBTAINED. THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE OPENINGS OR SECTIONALIZED FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL. THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OF GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MORE IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.
- MOISTURE CONTROL** -- THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.
- COMPACTION** -- CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION. IF A MINIMUM REQUIRED DENSITY IS SPECIFIED, EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY. FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, AND ANTI SEEP COLLARS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY MEANS OF HAND TAMING OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS. FILL ADJACENT TO CONCRETE STRUCTURES SHALL NOT BE COMPACTED UNTIL THE CONCRETE IS STRONG ENOUGH TO SUPPORT THE LOAD.
- PROTECTION** -- A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS SUCH AS MULCHES OR GRAVEL MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OF PERMANENT VEGETATION. THE EMBANKMENT AND SPILLWAY SHALL BE FENCED IF NECESSARY TO PROTECT THE VEGETATION.
- SEEDBED PREPARATION, SEEDING, FERTILIZING, AND MULCHING** SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BMP'S.
- CONCRETE** -- THE MIX DESIGN AND TESTING OF CONCRETE SHALL BE CONSISTENT WITH THE STRENGTH REQUIREMENTS OF THE JOB. MIX REQUIREMENTS OR NECESSARY STRENGTH SHALL BE SPECIFIED. THE TYPE OF CEMENT, AIR ENTRAINMENT, SLUMP, AGGREGATE, OR OTHER PROPERTIES SHALL BE SPECIFIED IF NECESSARY. ALL CONCRETE IS TO CONSIST OF A WORKABLE MIX THAT CAN BE PLACED AND FINISHED IN AN ACCEPTABLE MANNER. NECESSARY CURING SHALL BE SPECIFIED. REINFORCING STEEL SHALL BE PLACED AS INDICATED ON THE PLANS AND SHALL BE HELD SECURELY IN PLACE DURING CONCRETE PLACEMENT. SUB GRADES AND FORMS SHALL BE INSTALLED TO LINE AND GRADE, AND THE FORMS SHALL BE MORTAR TIGHT AND UNYIELDING AS THE CONCRETE IS PLACED.
- BERMS AND WEIRS** SEPARATING THE FOREBAY AND TREATMENT CELLS SHOULD BE CONSTRUCTED WITH CLAY, OR NON-CONDUCTIVE SOILS, AND/OR A FINE GEOTEXTILE, OR SOME COMBINATION THEREOF, TO AVOID WATER SEEPAGE AND SOIL PIPING THROUGH THESE EARTHEN DIVIDERS.



**UTILITY TRENCH**

NOT TO SCALE

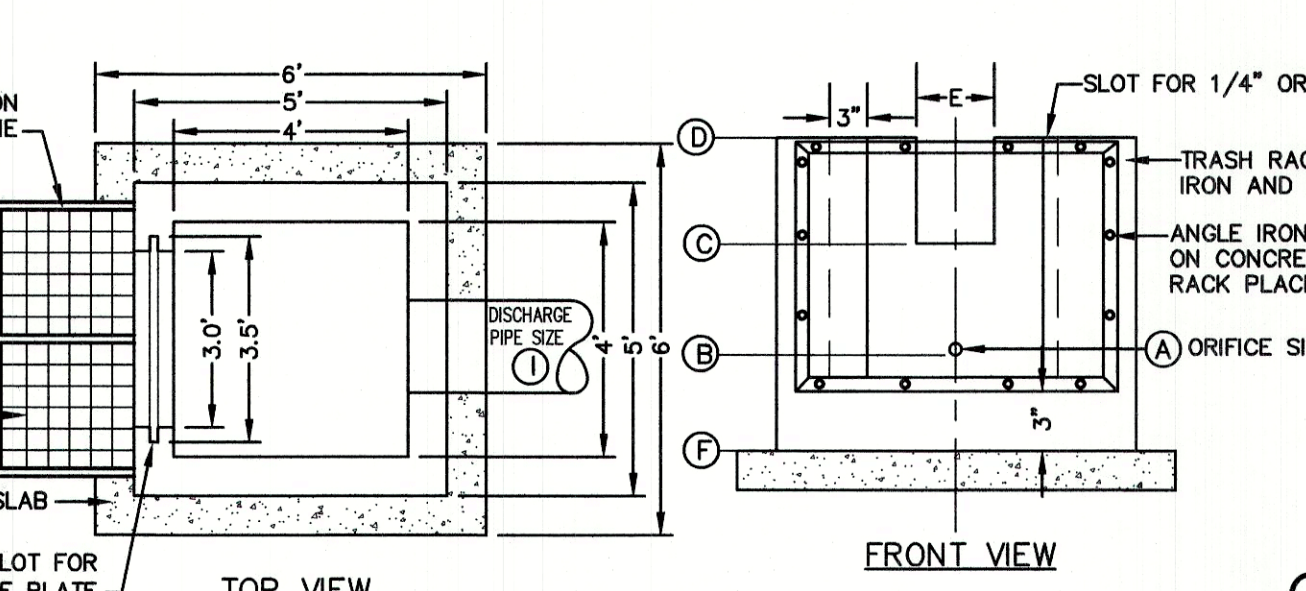


**GRAVEL SECTION**

NOT TO SCALE

**TYPICAL INLET TRASH RACKS**

NOT TO SCALE



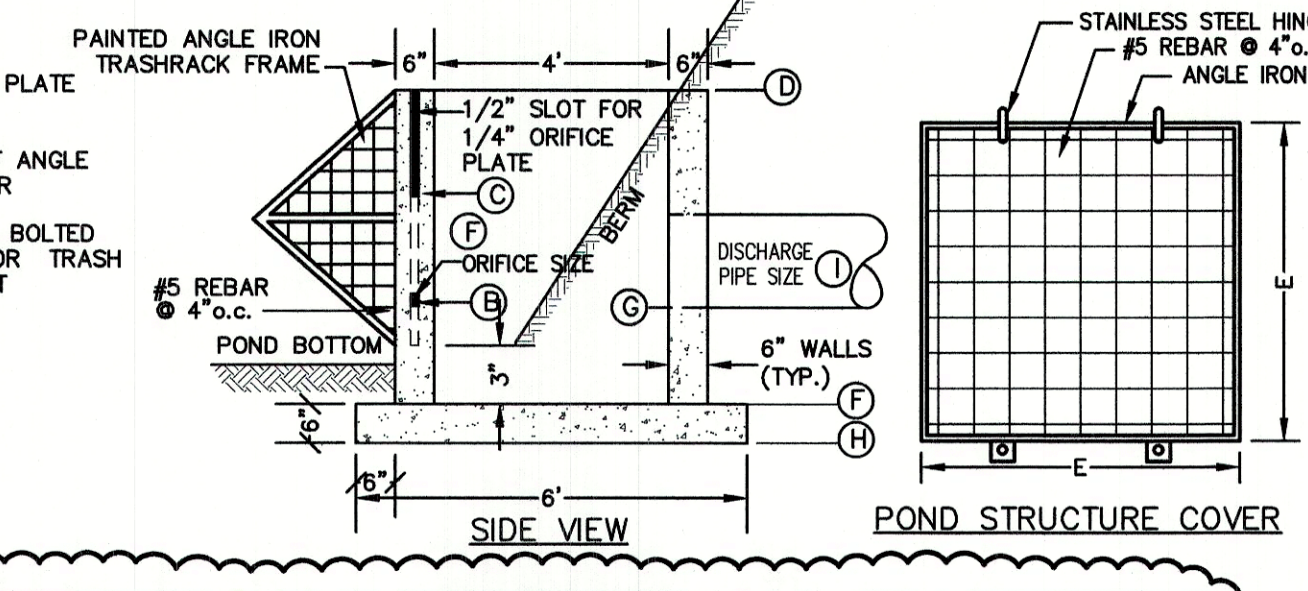
**APPROXIMATE LIST OF MATERIALS**

- 3 C.Y. - 5000 PSI CONCRETE
- 15 ANGLE IRONS @ 4' LENGTH
- REQUIRED S.S. BOLTS AND FASTENERS
- 1/4" STEEL PLATE WITH DRILLED ORIFICES
- 1 C.Y. - CRUSHED STONE FOR BASE
- 48 #5 REBARS @ 1', 2' AND 3' LENGTHS
- 32 #4 REBARS @ 4.5' LENGTH

- NOTES:**
- REINFORCING STEEL SHALL CONSIST OF A SINGLE LAYER OF HORIZONTAL AND VERTICAL PLACED #4 REBAR @ 12" O.C.
  - CONCRETE BOX TO BE CONSTRUCTED OR PRECAST OF EQUAL DIMENSIONS AND REINFORCING.
  - CONCRETE SLAB TO BE CONSTRUCTED ALONG WITH BASE. FOR PRECAST BOX, A SLOTTED CONCRETE SLAB TO BE USED.
  - SECTION JOINTS AND PIPE OPENING SHALL BE SEALED WATERTIGHT WITH MORTAR BY CONTRACTOR.

**MULTI-STAGE DISCHARGE OUTLET STRUCTURE (MSDOS)**

NOT TO SCALE

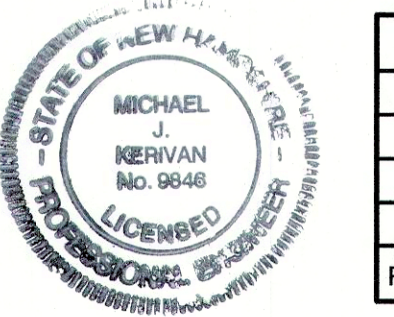


	A	B	C	D	E	F	G	H	I
MSDOS 1	3"	85.9	N/A	87.3	48"	78.55	85.9	78.05	15"
MSDOS 2	4"	85.2	85.6	86.0	24"	77.25	85.2	76.75	8"

- NOTES:**
- ALL EXPOSED REBAR TO BE PAINTED WITH RUST-RESISTANT PAINT, COLOR AT CONTRACTOR'S DISCRETION.
  - TO BE SUPPLIED BY CAPITAL CONCRETE PRODUCTS OF HENNIKER, N.H., (1-603-428-3218) OR EQUAL.
  - STRUCTURE TO HAVE TEMPORARY PLYWOOD INSTALLED IN THE ORIFICE PLATE SLOT UNTIL THE SITE IS STABILIZED.
  - STRUCTURE IS TO BE DESIGNED FOR H2O LOADING.
  - SOIL UNDERLYING THE STRUCTURE IS TO BE COMPACTED TO 95% MODIFIED PROCTOR.

F:\CADD\MASTER STANDARD.dwg\JB-LAYOUTS.dwg 3/12/2015 3:27:29 PM EDT

Design: JAC	Draft: DJM	Date: 11/04/21
Checked: JAC	Scale: AS NOTED	Project No.: 20603
Drawing Name: 20603-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
4	5/2/22	REVISED PER TOWN AND AOT COMMENTS	DJM
3	3/23/22	REVISED PER CLIENT & PER TOWN ENGINEER COMMENTS	DJM
2	1/13/22	REVISED FOR NHDES SUBMISSION	DJM
1	12/01/21	MINOR POND REVISIONS	DJM
0	11/04/21	ISSUED FOR REVIEW	DJM

Designed and Produced in NH

## J/B Jones & Beach Engineers, Inc.

Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746  
FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**

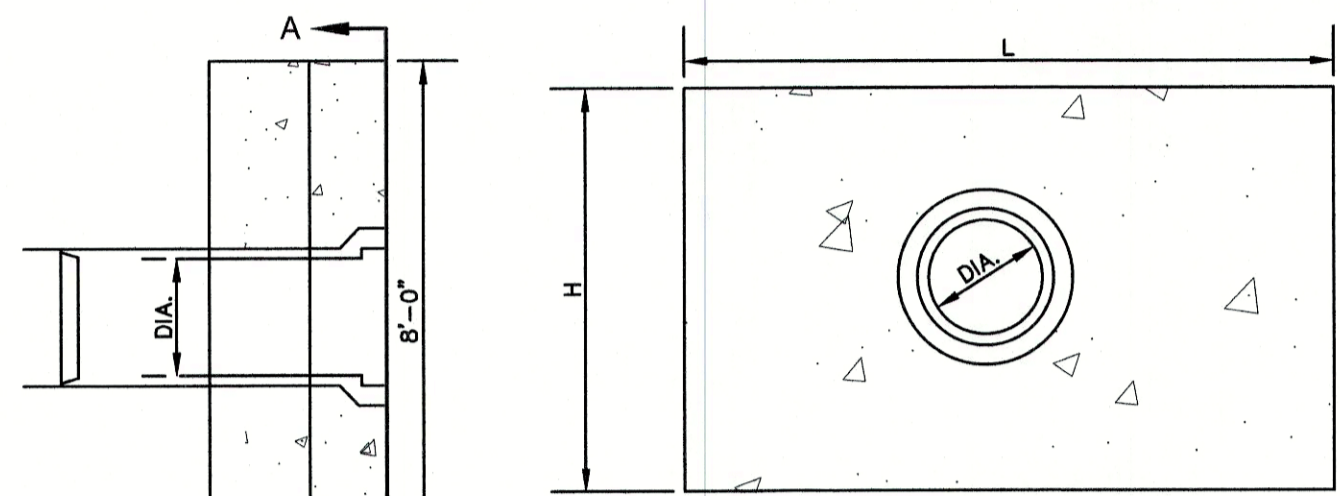
Project: **LAYDOWN YARD**  
**10 SCRIBNER ROAD, RAYMOND, NH, 03077**

Owner of Record: **I.C. REED & SONS, INC.**  
**P.O. BOX 968 RAYMOND, NH 03077 BK 6166 PG 2270**

DRAWING No. **D1**

SHEET 6 OF 11  
JBE PROJECT NO. 20603





SECTION A-A

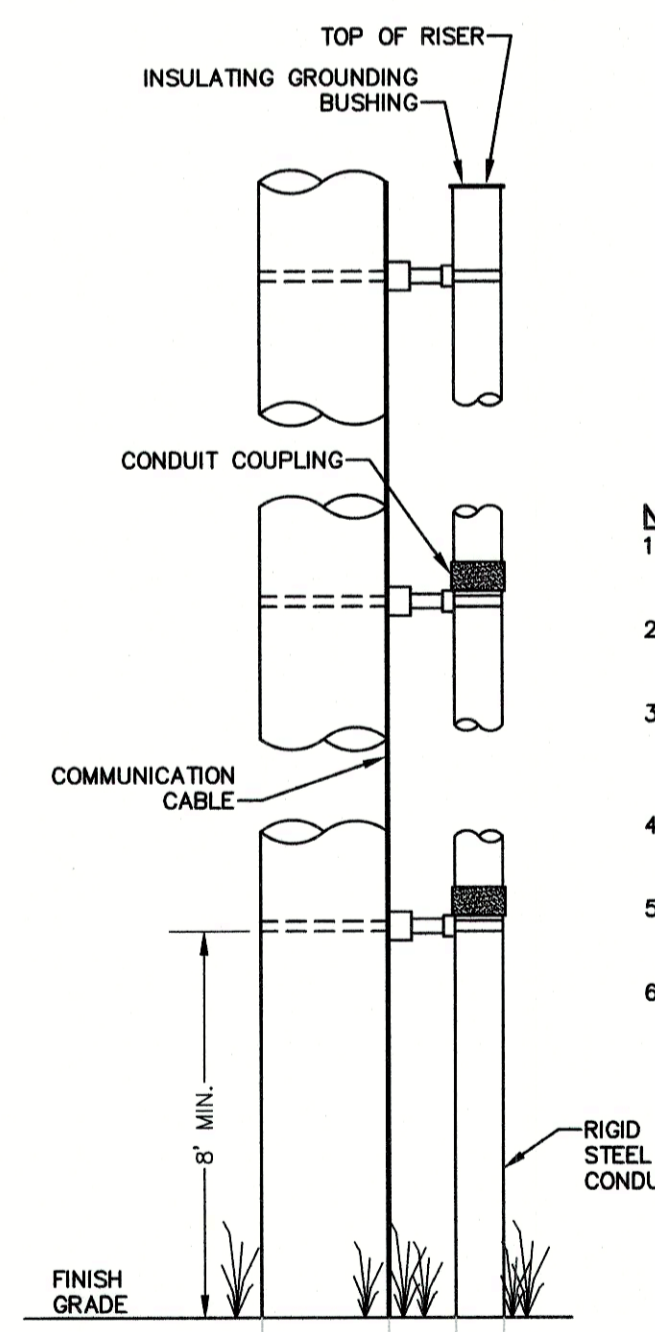
DIA.	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	PIPE COVER	HEADWALL BOTTOM WIDTH
D	L	H	FH	h	W
12"	4'-2"	3'-9"	1'-6"	1'-3"	1'-11"
15"	5'-11"	4'-2"	1'-6"	1'-5"	2'-0"
18"	6'-11"	4'-5"	1'-6"	1'-5"	2'-1"
24"	8'-10"	4'-11"	1'-6"	1'-5"	2'-3"

LONGITUDINAL SECTION

- NOTES:
1. ALL DIMENSIONS GIVEN IN FEET & INCHES.
  2. PROVIDE BELL END AT INLET HEADWALL, AND SPIGOT END AT OUTLET END HEADWALL.
  3. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS, CEMENT TO BE TYPE III PER ASTM C-150. REINFORCING TO MEET OR EXCEED ASTM A-615 GRADE 60 DEFORMED BARS.
  4. 1" THREADED INSERTS PROVIDED FOR FINAL ATTACHMENT IN FIELD BY OTHERS.

**PRECAST CONCRETE HEADWALL**

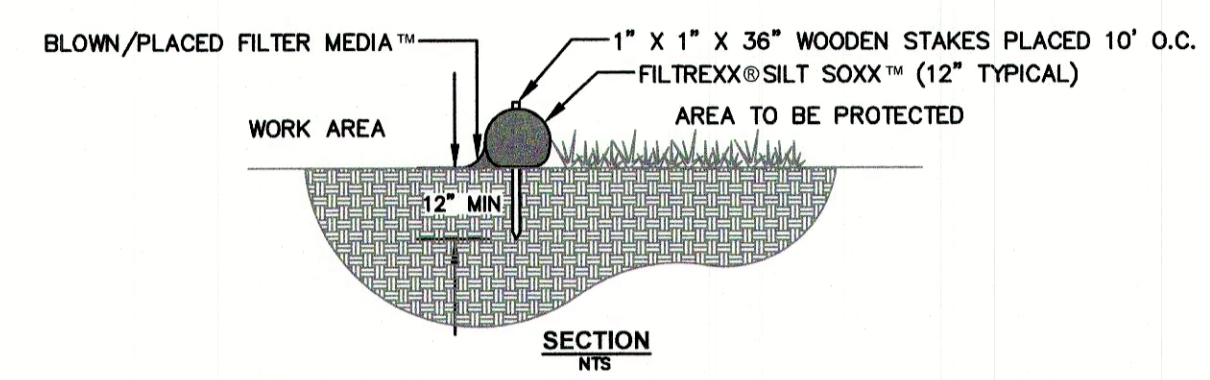
NOT TO SCALE



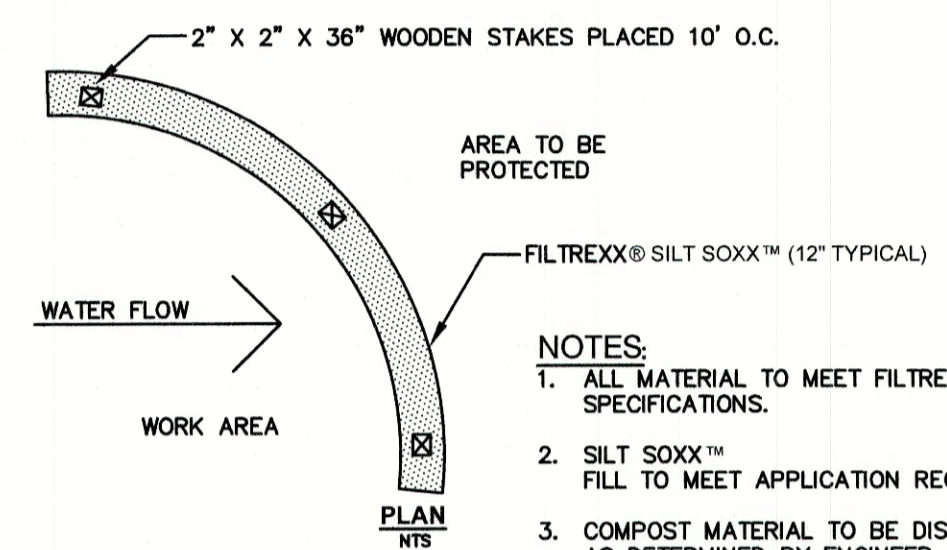
- NOTES:
1. CONDUIT STANDOFF BRACKETS TO BE USED WITH METAL CONDUIT ONLY.
  2. LOWEST BRACKET SHALL BE A MINIMUM OF 8 FEET ABOVE FINISH GRADE.
  3. ONE BRACKET SHALL BE USED TO SUPPORT EACH 10 FT. SECTION OF CONDUIT WITH THE BRACKET PLACED JUST BELOW THE RISER CONDUIT COUPLING.
  4. A BRACKET SHALL ALSO BE PLACED TO HOLD THE ROD OF THE RISER CONDUIT.
  5. ALTERNATE LOCATION FOR COMMUNICATION CABLE IF RUN IN METAL CONDUIT.
  6. COMMUNICATION CABLE MAY BE ATTACHED DIRECTLY TO POLE ADJACENT TO BRACKETS.

**MATERIALS:**

QUANTITY AS NEEDED	ALUMA-FORM
CONDUIT STANDOFF BRACKET	6-CSO
4-WAY T-SLOT (CUT TO REQUIRED LENGTH)	4WT-48
CONDUIT STRAP KITS	2" STK-2
	2.5" STK-2.5
	3" STK-3
	3.5" STK-3.5
	4" STK-4
	5" STK-5
	6" STK-6



SECTION

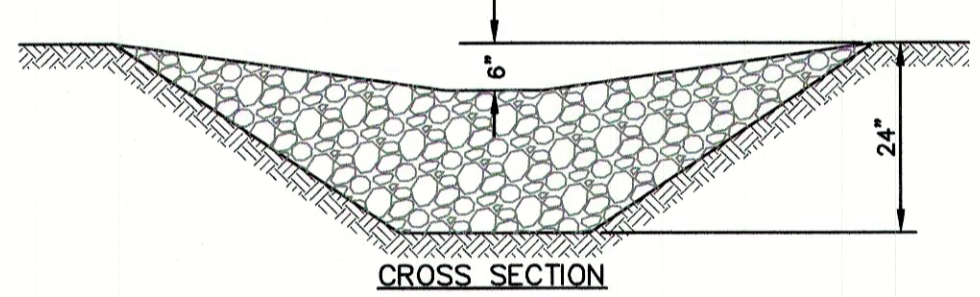


PLAN

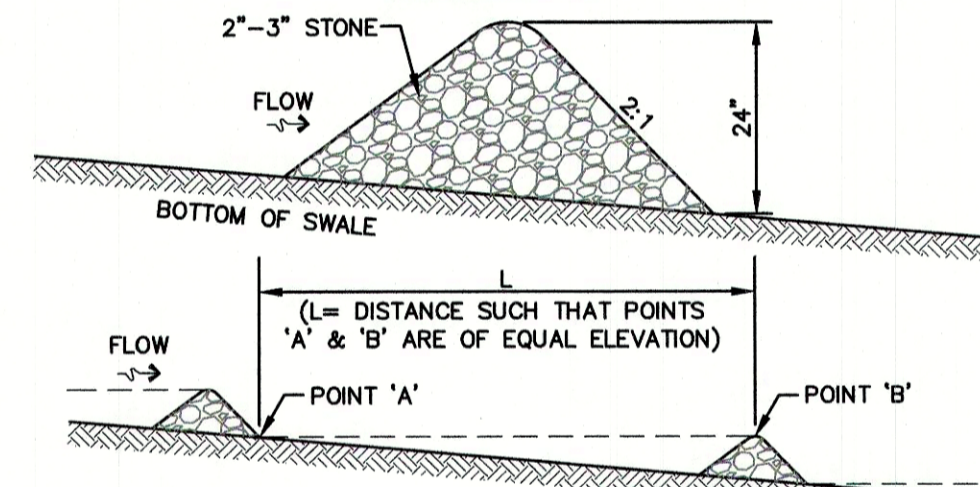
- NOTES:
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
  2. SILT SOXX™ FILL TO MEET APPLICATION REQUIREMENTS.
  3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

**FILTREXX® SILT SOXX™**

NOT TO SCALE



CROSS SECTION

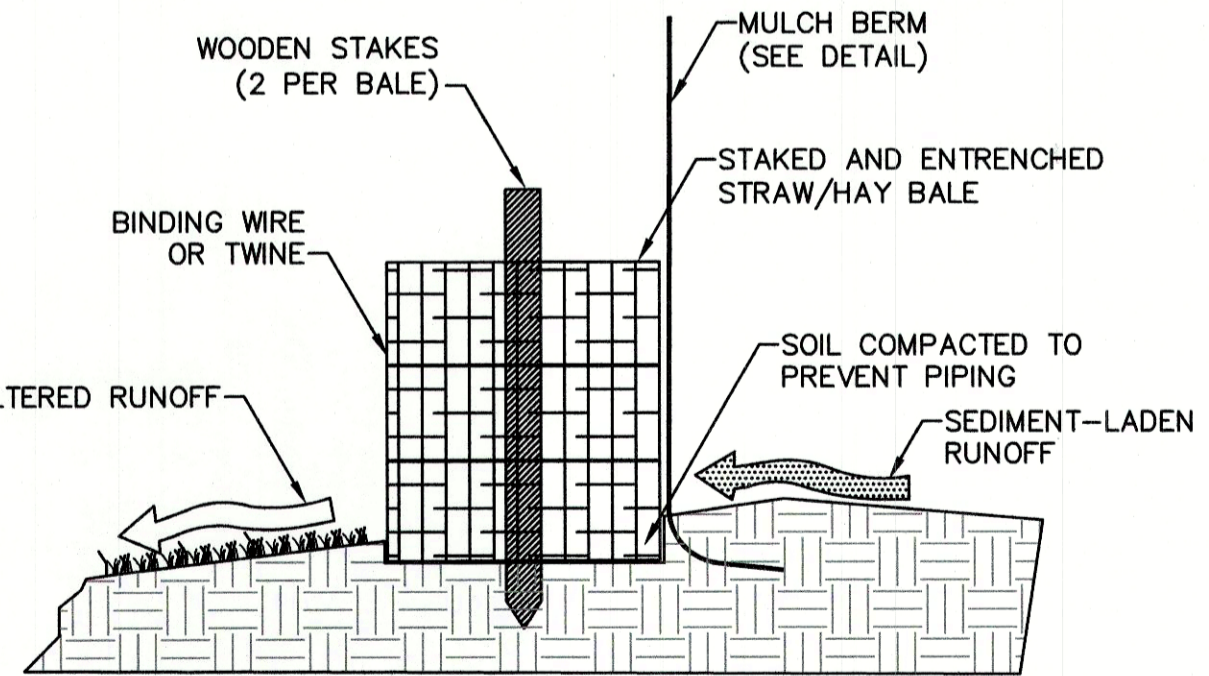


**MAINTENANCE NOTE:**

1. STONE CHECK DAMS SHOULD BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY. PARTICULAR ATTENTION SHOULD BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE. WHEN THE STRUCTURES ARE REMOVED, THE DISTURBED PORTION SHOULD BE BROUGHT TO THE EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEEDED AND MULCHED. WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND THE STRUCTURES. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF OF THE ORIGINAL HEIGHT OF THE STRUCTURE.

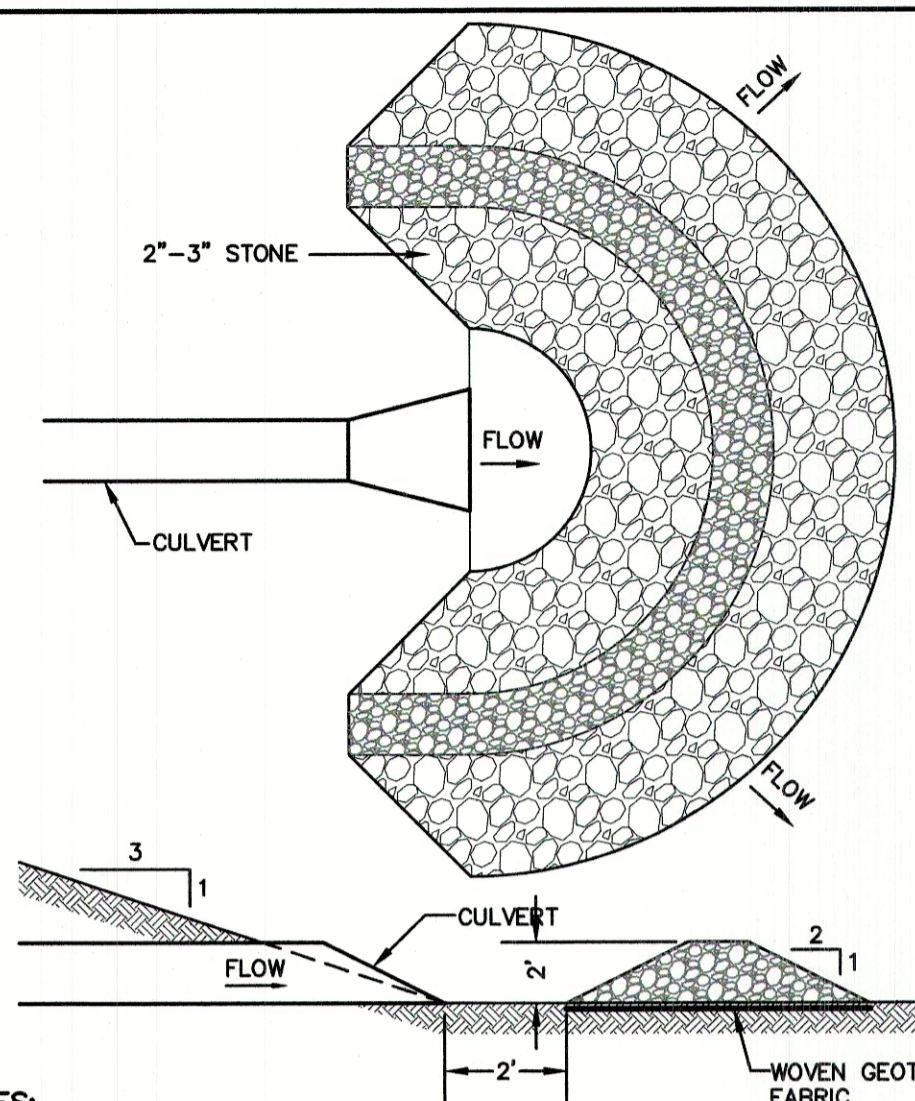
**STONE CHECK DAM**

NOT TO SCALE



**HAYBALE DETAIL**

NOT TO SCALE

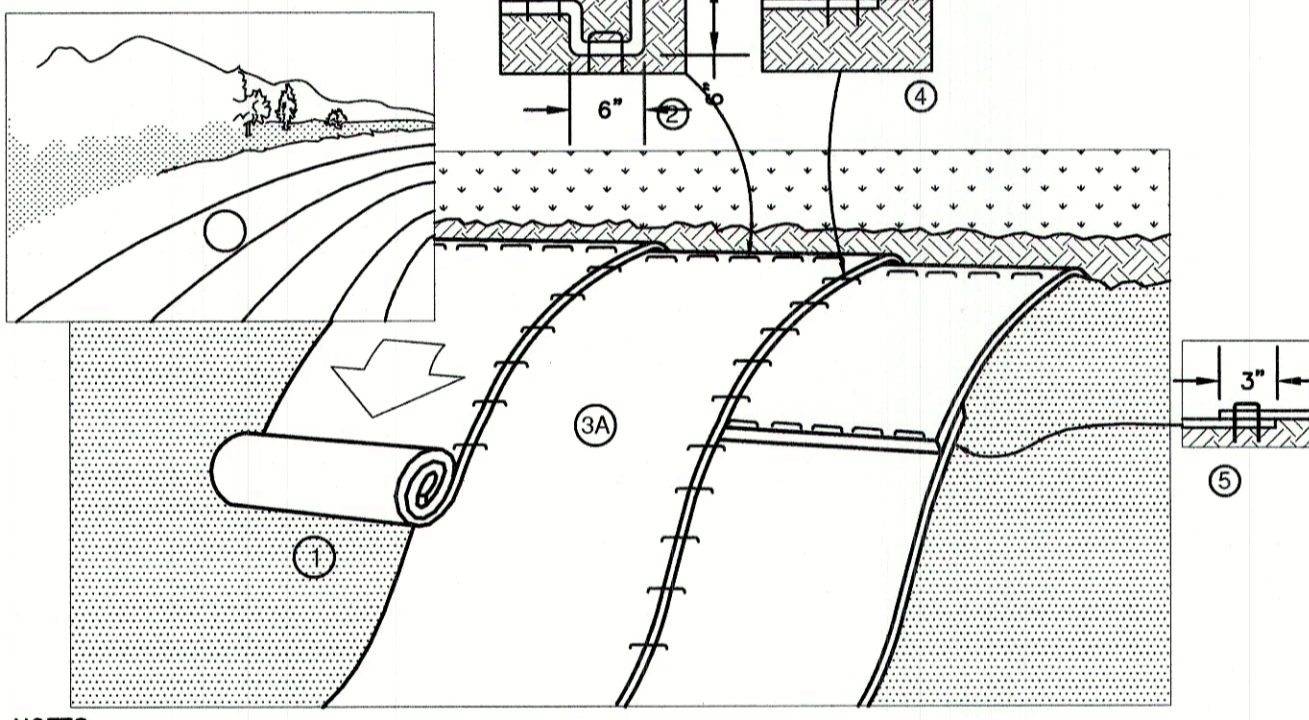


**NOTES:**

1. TEMPORARY CULVERT INLET PROTECTION CHECK DAMS SHALL BE CONSTRUCTED OF 2"-3" STONE OVER WOVEN GEOTEXTILE FABRIC.
3. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURE WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
4. STRUCTURE SHALL BE REMOVED WHEN THE SITE IS STABILIZED WITH THE PROPOSED RIP RAP FIELD. AREAS OUTSIDE THE RIP RAP FIELD ARE TO BE VEGETATED AND SMOOTHED.

**TEMPORARY CULVERT INLET PROTECTION CHECK DAM**

NOT TO SCALE



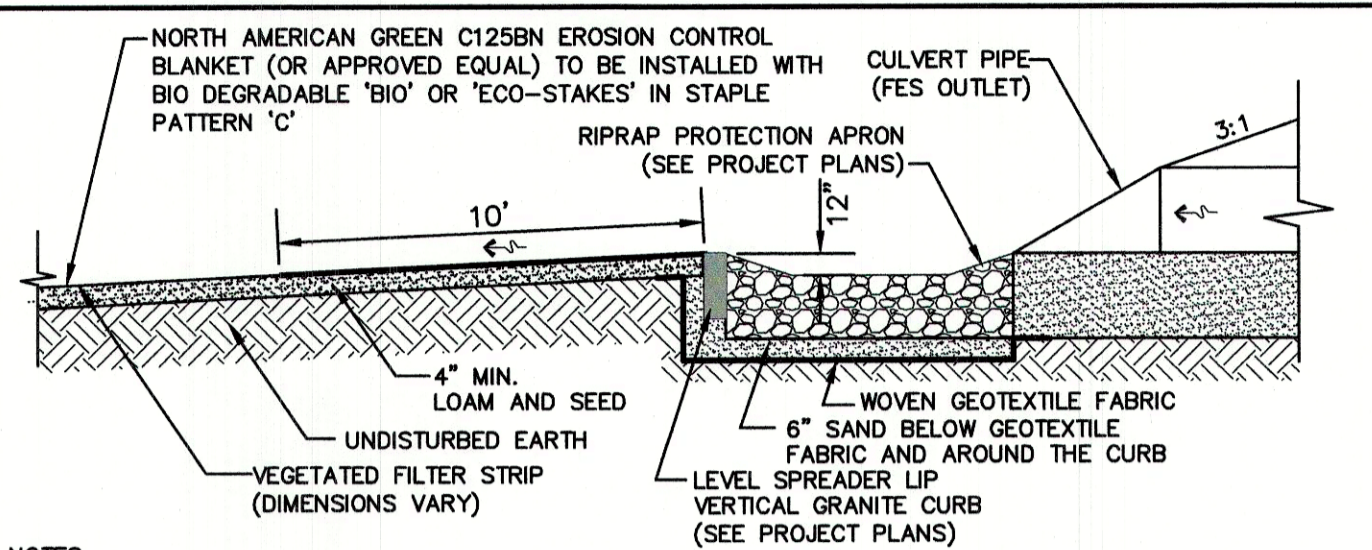
**NOTES:**

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-0-SEED DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SEAM ALIGNMENT. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
6. THERE SHALL BE NO PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES MATERIAL UTILIZED.
7. TURF REINFORCEMENT MATS SHALL BE COVERED WITH SOIL TO PREVENT EXPOSURE OF THE MATS TO THE SURFACE.

**NORTH AMERICAN GREEN**  
 14649 HIGHWAY 41 NORTH  
 EVANSVILLE, INDIANA 47725  
 1-800-772-2040

**EROSION CONTROL BLANKET SLOPE INSTALLATION (NORTH AMERICAN GREEN BIONET S75BN)**

NOT TO SCALE

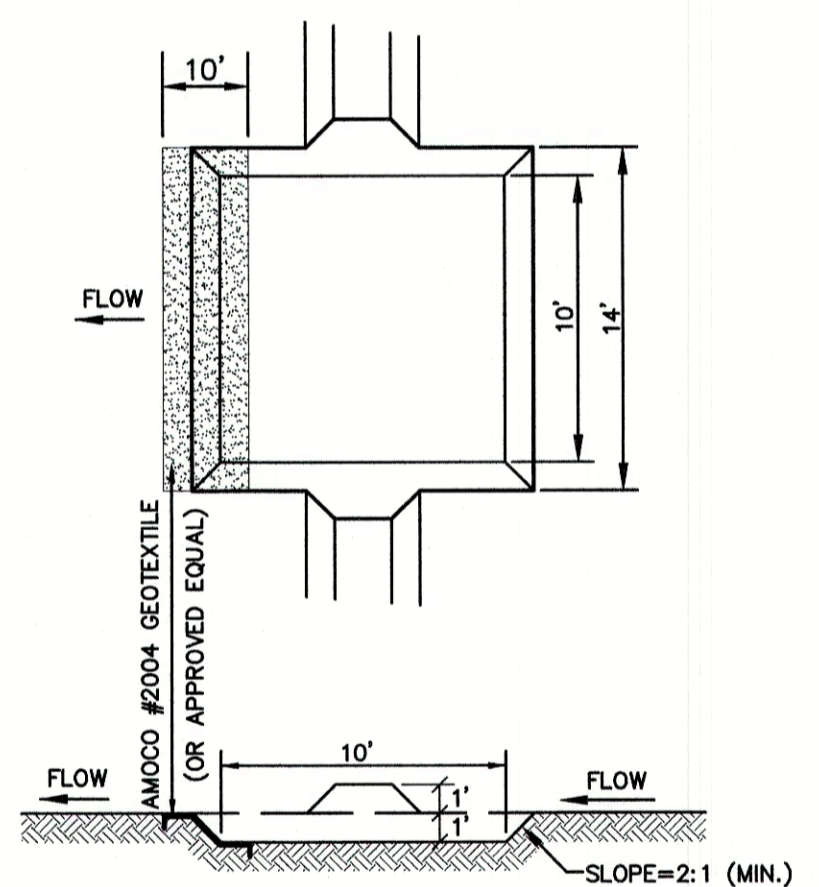
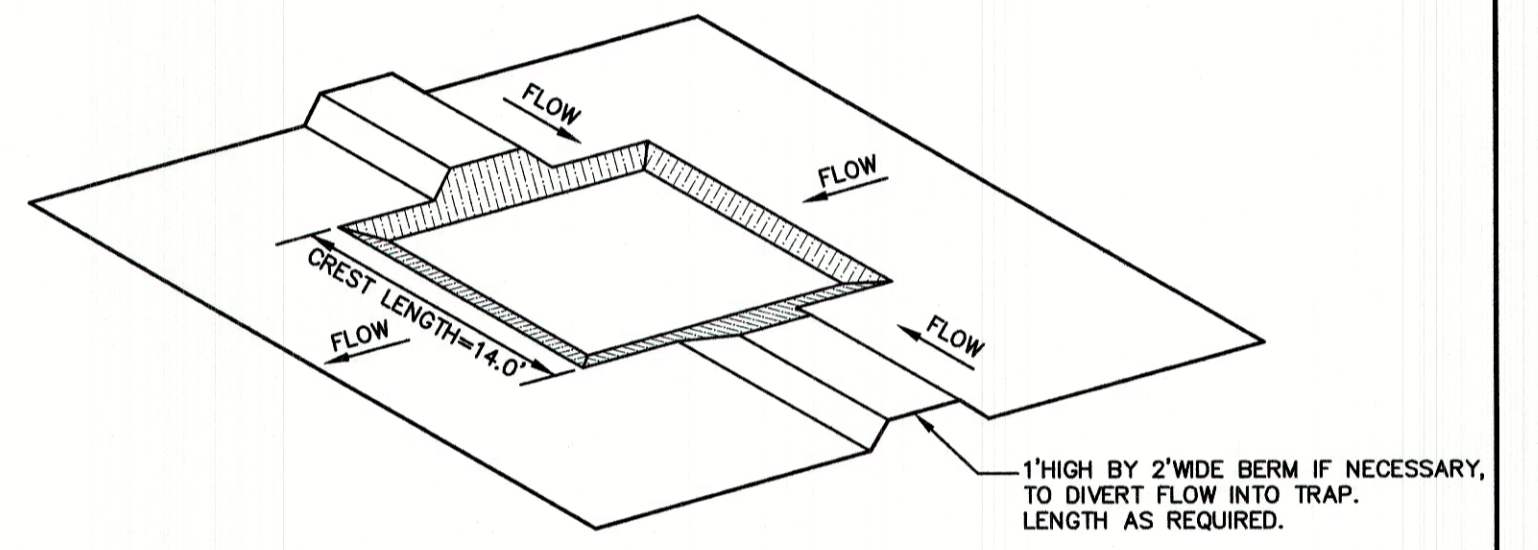


**NOTES:**

1. CONSTRUCT LEVEL SPREADER LIP ON ZERO PERCENT GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
2. VERTICAL GRANITE CURB SHALL BE PLACED A MINIMUM OF SIX INCHES DEEP AND EXTEND ENTIRE LENGTH OF LIP.
3. THE RIP RAP APRON PRIOR TO THE LEVEL SPREADER SHALL NOT EXCEED A 0 PERCENT GRADE.
4. THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER MUST NOT RECONCENTRATE IMMEDIATELY BELOW THE SPREADER.
5. PERIODIC INSPECTION AND REQUIRED MAINTENANCE SHALL BE PERFORMED.
6. MAINTENANCE: LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE SPREADER HAS BEEN DAMAGED. SEDIMENT DEEPER THAN FOUR INCHES ACCUMULATION SHOULD BE REMOVED. IF RILLING HAS TAKEN PLACE ON LIP, THEN DAMAGE SHOULD BE REPAIRED AND REVEGETATED. VEGETATION SHOULD BE MOWED OCCASIONALLY TO CONTROL WEEDS AND ENCRoACHMENT OF WOODY VEGETATION. CLIPPINGS SHOULD BE REMOVED AND DISPOSED OF OUTSIDE SPREADER AND AWAY FROM OUTLET AREA. FERTILIZATION SHOULD BE DONE AS NECESSARY TO KEEP VEGETATION HEALTHY AND DENSE.

**LEVEL SPREADER AT CULVERT OUTLET**

NOT TO SCALE



**CONSTRUCTION SPECIFICATIONS:**

1. THE AREA UNDER THE EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ALL VEGETATION, ROOTS, AND DEBRIS.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS, WOODY VEGETATION, STONES OVER 6" SIZE, ORGANIC MATERIAL, OR OTHER OBJECTIONABLE MATERIALS. THE FILL SHALL BE COMPACTED BY ROUTING CONSTRUCTION EQUIPMENT OVER IT SO THAT THE ENTIRE AREA OF THE FILL IS TRAVERSED BY AT LEAST ONE WHEEL OR TREAD TRACK OF THE EQUIPMENT.
3. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED.
4. ALL CUT AND FILL SLOPES SHALL BE 2:1 (H:V) OR FLATTER.
5. OUTLET CREST ELEVATIONS SHALL BE AT LEAST ONE FOOT BELOW THE TOP OF THE EMBANKMENT.
6. OUTLET CREST IS TO BE STABILIZED WITH AMOCO #2004 GEOTEXTILE (OR APPROVED EQUAL), WHICH IS TO BE "TOED" INTO THE GROUND AT ITS ENDS AT LEAST SIX INCHES AND IS TO EXTEND AT LEAST ONE FOOT INTO THE TRAP AND ONE FOOT DOWNSTREAM FROM THE OUTLET EDGE FOR THE ENTIRE LENGTH OF THE CREST.
7. ALL DISTURBED AREAS SHALL BE VEGETATED USING THE APPROPRIATE VEGETATIVE BEST MANAGEMENT PRACTICE.
8. ALL TRAPS ARE TO HAVE SEDIMENT DEPOSITS REMOVED AND DISPOSED PROPERLY AT LEAST ONCE WEEKLY AND AFTER EACH RAINFALL.

**TEMPORARY SEDIMENT TRAP**

NOT TO SCALE

F:\CADD\MASTER STANDARD.dwg\JB-LAYOUTS.dwg 3/12/2015 3:27:29 PM EDT

Design: JAC	Draft: DJM	Date: 11/04/21
Checked: JAC	Scale: AS NOTED	Project No.: 20603
Drawing Name: 20603-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
4	5/2/22	REVISED PER TOWN AND AOT COMMENTS	DJM
3	3/23/22	REVISED PER CLIENT & PER TOWN ENGINEER COMMENTS	DJM
2	1/13/22	REVISED FOR NHDES SUBMISSION	DJM
1	12/01/21	MINOR POND REVISIONS	DJM
0	11/04/21	ISSUED FOR REVIEW	DJM

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**  
*Civil Engineering Services*

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746  
 FAX: 603-772-0227  
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>DETAIL SHEET</b>
Project:	<b>LAYDOWN YARD 10 SCRIBNER ROAD, RAYMOND, NH, 03077</b>
Owner of Record:	<b>I.C. REED &amp; SONS, INC. P.O. BOX 968 RAYMOND, NH 03077 BK 6166 PG 2270</b>

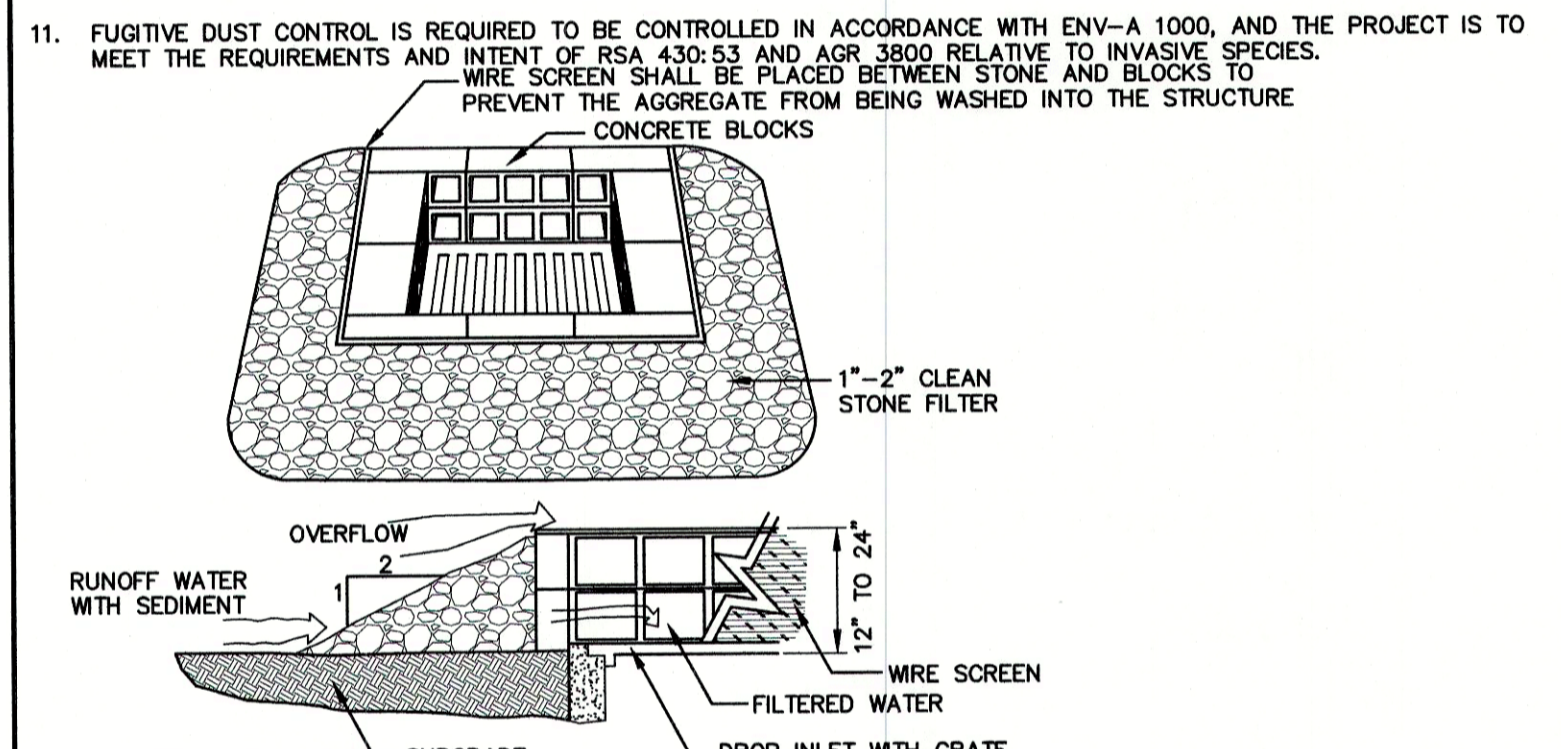
DRAWING No.

**D2**

SHEET 7 OF 11  
 JBE PROJECT NO. 20603

**TEMPORARY EROSION CONTROL NOTES**

- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE "C" AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
- MULCH BERMS AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
- AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN BIONET S75BN EROSION CONTROL BLANKETS (OR AN EQUIVALENT FREE OF WELDED PLASTIC, PLASTIC, OR MULTI-FILAMENT OR MONOFLAMENT POLYPROPYLENE NETTING OR MESH APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
  - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.



**TEMPORARY CATCH BASIN INLET PROTECTION**  
(Block and Gravel Drop Inlet Sediment Filter)

NOT TO SCALE

2.5' (MIN)

1

1

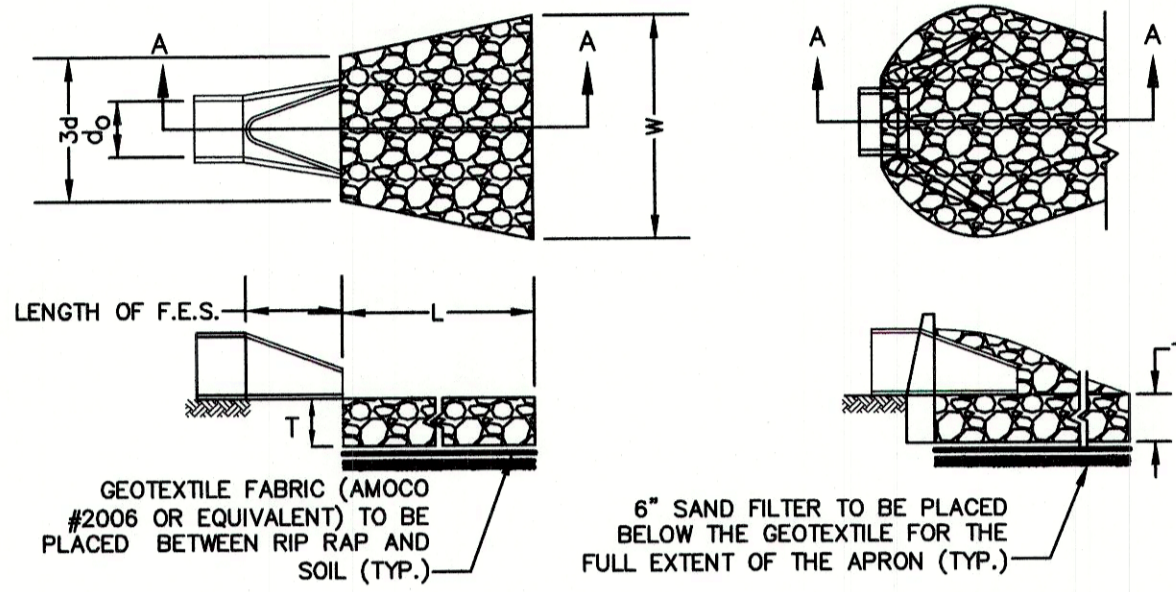
EROSION CONTROL MIXTURE



- NOTES:**
- ORGANIC FILTER BERMS SHALL BE UTILIZED IN LIEU OF SILT FENCE EXCEPT THAT A DOUBLE ROW OF PERIMETER CONTROLS INCLUDING BOTH ORGANIC FILTER BERM AND SILT FENCE SHALL BE UTILIZED WITHIN 50' OF ANY WETLAND.
  - THE EROSION CONTROL MIX USED IN THE FILTER BERMS OF VARYING SIZES, MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER, STUMP GRINDINGS, SHREDDED OR COMPOSTED BARK, OR ACCEPTABLE MANUFACTURED PRODUCTS, AND SHALL BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH, AND SHALL MEET THE FOLLOWING STANDARDS:
    - THE ORGANIC CONTENT SHALL BE 80-100% OF DRY WEIGHT.
    - PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 6" SCREEN, AND 70-85% PASSING A 0.75" SCREEN.
    - THE ORGANIC PORTION SHALL BE FIBROUS AND ELONGATED.
    - LARGE PORTIONS OF SILTS, CLAYS, OR FINE SANDS SHALL NOT BE INCLUDED IN THE MIXTURE.
    - SOLUBLE SALTS CONTENT SHALL BE  $\leq 4.0$  mmhos/cm.
    - THE pH SHALL BE BETWEEN 5.0 AND 8.0.
  - ORGANIC FILTER BERMS SHALL BE INSTALLED ALONG A RELATIVELY LEVEL CONTOUR. IT MAY BE NECESSARY TO CUT TALL GRASSES OR WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES THAT WOULD ENABLE FINES TO WASH UNDER THE BERM.
  - ON SLOPES LESS THAN 5% OR AT THE BOTTOM OF SLOPES STEEPER THAN 3:1, UP TO 20' LONG, THE BERM SHALL BE A MINIMUM OF 12" HIGH (AS MEASURED ON THE UPHILL SIDE), AND A MINIMUM OF 36" WIDE. ON LONGER OR STEEPER SLOPES, THE BERM SHALL BE WIDER TO ACCOMMODATE THE POTENTIAL ADDITIONAL RUNOFF.
  - FROZEN GROUND, OUTCROPS OF BEDROCK, AND VERY ROOTED FORESTED AREAS PRESENT THE MOST PRACTICAL AND EFFECTIVE LOCATIONS FOR ORGANIC FILTER BERMS. OTHER BMP'S SHOULD BE USED AT LOW POINTS OF CONCENTRATED RUNOFF, BELOW CULVERT OUTLET APRONS, AROUND CATCH BASINS, AND AT THE BOTTOM OF STEEP PERIMETER SLOPES THAT HAVE A LARGE CONTRIBUTING AREA.
  - SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
  - STRUCTURES MAY BE LEFT IN PLACE ONCE THE SITE IS STABILIZED.

**ORGANIC FILTER BERM**

NOT TO SCALE



**SECTION A-A**

PIPE OUTLET TO FLAT AREA WITH NO DEFINED CHANNEL

**SECTION A-A**

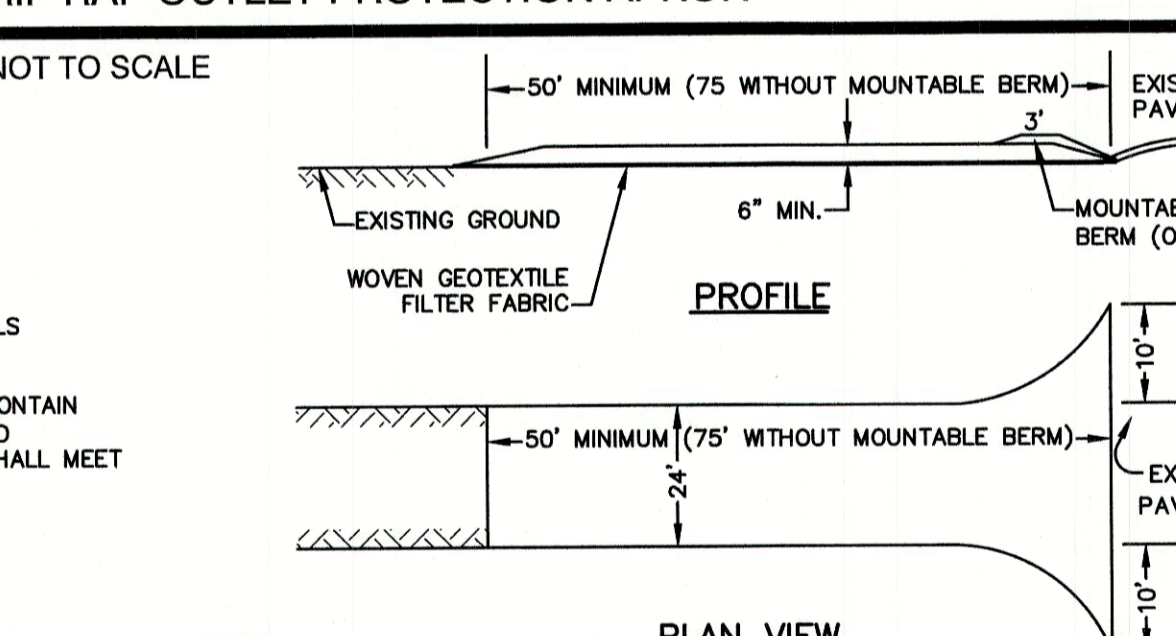
PIPE OUTLET TO WELL-DEFINED CHANNEL

**TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES**

THICKNESS OF RIP RAP = 1.5 FEET

d50 SIZE=	0.25 FEET	3 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	5	6
85%	4	5
50%	3	5
15%	1	2

- NOTES:**
- THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
  - THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
  - GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
  - STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
  - OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
  - MAINTENANCE:** THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.



- NOTES:**
- STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
  - THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, 75' WITHOUT A MOUNTABLE BERM, AND EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
  - THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
  - THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR 10 FEET, WHICHEVER IS GREATER.
  - GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
  - ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
  - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

**STABILIZED CONSTRUCTION ENTRANCE**

NOT TO SCALE

**SEEDING SPECIFICATIONS**

- GRADING AND SHAPING**
  - SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
  - WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDBED PREPARATION**
  - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
  - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH A SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND**
  - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
    - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
    - NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
    - PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
    - POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
  - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
  - REFER TO THE "SEEDING GUIDE" AND "SEEDING RATES" TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWNFETCH, BIRDSFOOT, TREFOLI AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
  - WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
- MULCH**
  - HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
  - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
- MAINTENANCE TO ESTABLISH A STAND**
  - PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
  - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
  - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	EXCELLENT	EXCELLENT	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/
GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.					

1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.  
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

**SEEDING GUIDE**

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	15	0.35
CROWN VETCH	10	0.25
OR		
FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDS FOOT TREFOLI	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

**SEEDING RATES**

**BLASTING BEST MANAGEMENT PRACTICES**

- ALL ACTIVITIES RELATED TO BLASTING SHALL FOLLOW BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT CONTAMINATION OF GROUNDWATER INCLUDING PREPARING, REVIEWING AND FOLLOWING AN APPROVED BLASTING PLAN; PROPER DRILLING, EXPLOSIVE HANDLING AND LOADING PROCEDURES; OBSERVING THE ENTIRE BLASTING PROCEDURES; EVALUATING BLASTING PERFORMANCE; AND HANDLING AND STORAGE OF BLASTED ROCK.
- LOADING PRACTICES.** THE FOLLOWING BLMHOLE LOADING PRACTICES TO MINIMIZE ENVIRONMENTAL EFFECTS SHALL BE FOLLOWED:
    - DRILLING LOGS SHALL BE MAINTAINED BY THE DRILLER AND COMMUNICATED DIRECTLY TO THE BLASTER. THE LOGS SHALL INDICATE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED AS WELL AS GROUNDWATER CONDITIONS.
    - EXPLOSIVE PRODUCTS SHALL BE MANAGED ON-SITE SO THAT THEY ARE EITHER USED IN THE BOREHOLE, RETURNED TO THE DELIVERY VEHICLE, OR PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL.
    - SPILLAGE AROUND THE BOREHOLE SHALL EITHER BE PLACED IN THE BOREHOLE OR CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL.
    - LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND SHALL NOT BE LEFT IN THE BOREHOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED.
    - LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT.
    - EXPLOSIVES SHALL BE LOADED TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION. INDUSTRY ACCEPTED LOADING PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE NEED TO BE ATTENDED TO.
  - EXPLOSIVE SELECTION.** THE FOLLOWING BMPs SHALL BE FOLLOWED TO REDUCE THE POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED:
    - EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST EXECUTION.
    - EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT TO MINIMIZE THE POTENTIAL FOR HAZARDOUS EFFECT OF THE PRODUCT UNDER GROUNDWATER.
  - PREVENTION OF MISFIRES.** APPROPRIATE PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO PREVENT MISFIRES.
  - MUCK PILE MANAGEMENT.** MUCK PILES (THE BLASTED PIECES OF ROCK) AND ROCK PILES SHALL BE MANAGED IN A MANNER TO REDUCE THE POTENTIAL FOR CONTAMINATION BY IMPLEMENTING THE FOLLOWING MEASURES:
    - REMOVE THE MUCK PILE FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE.
    - MANAGE THE INTERACTION OF BLASTED ROCK PILES AND STORMWATER TO PREVENT CONTAMINATION OF WATER SUPPLY WELLS OR SURFACE WATER.
  - SPILL PREVENTION MEASURES AND SPILL MITIGATION.** SPILL PREVENTION AND SPILL MITIGATION MEASURES SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF FUEL AND OTHER RELATED SUBSTANCES TO THE ENVIRONMENT. THE MEASURES SHALL INCLUDE AT A MINIMUM:
    - THE FUEL STORAGE REQUIREMENTS SHALL INCLUDE:
      - STORAGE OF REGULATED SUBSTANCES ON AN IMPERVIOUS SURFACE.
      - SECURE STORAGE AREAS AGAINST UNAUTHORIZED ENTRY.
      - LABEL REGULATED CONTAINERS CLEARLY AND VISIBLY.
      - INSPECT STORAGE AREAS WEEKLY.
      - COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS.
      - WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS.
      - SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.
    - THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:
      - EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED.
      - PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS.
      - HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS.
      - USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED SUBSTANCES.
      - PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE.
- (A) THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.  
(G) FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT WILL COMPLY WITH THE REGULATIONS OF NHDES [NOTE THESE REQUIREMENTS ARE SUMMARIZED IN WD-DWGB-22-6: BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT OR ITS SUCCESSOR DOCUMENT.]

**CONSTRUCTION SEQUENCE**

- PRIOR TO THE START OF ANY ACTIVITY, IT IS THE RESPONSIBILITY OF THE SITE'S SITE DEVELOPER (OR OWNER) TO FILE A NOTICE OF INTENT (NOI) FORM WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) IN ORDER TO GAIN COVERAGE UNDER THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. A PRE CONSTRUCTION MEETING IS TO BE HELD WITH ALL DEPARTMENT HEADS PRIOR TO THE START OF CONSTRUCTION.
- WETLAND BOUNDARIES ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION.
- CUT AND REMOVE TREES IN CONSTRUCTION AREA AS REQUIRED OR DIRECTED.
- INSTALL SILT FENCING, HAY BALES AND CONSTRUCTION ENTRANCES PRIOR TO THE START OF CONSTRUCTION. THESE ARE TO BE MAINTAINED UNTIL THE FINAL PAVEMENT SURFACING AND LANDSCAPING AREAS ARE ESTABLISHED. INSTALL INLET PROTECTION AT THE EXISTING CATCH BASIN ON THE SUBJECT PARCEL.
- CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. THIS INCLUDES ANY REQUIRED DEMOLITION OF EXISTING STRUCTURES, UTILITIES, ETC.
- CONSTRUCT AND/OR INSTALL TEMPORARY OR PERMANENT SEDIMENT AND/OR DETENTION BASIN(S) AS REQUIRED. THESE FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM.
- STRIP LOAM AND GRAVEL WITHIN LIMITS OF WORK PER THE RECOMMENDATIONS OF THE PROJECT ENGINEER AND STOCKPILE EXCESS MATERIAL. STABILIZE STOCKPILE AS NECESSARY.
- PERFORM PRELIMINARY SITE GRADING IN ACCORDANCE WITH THE PLANS.
- INSTALL LIGHTING CONDUIT IN ACCORDANCE WITH THE PLAN AND DETAILS. ANY CONFLICTS BETWEEN UTILITIES ARE TO BE RESOLVED WITH THE INVOLVEMENT AND APPROVAL OF THE ENGINEER.
- ALL SWALES AND DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE DITCHES, CHECK DAMS, SEDIMENT TRAPS, ETC., TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ADJUTING WATERS AND/OR PROPERTY.
- PERFORM FINAL FINE GRADING.
- PERFORM ALL REMAINING SITE CONSTRUCTION.
- LOAM AND SEED ALL DISTURBED AREAS AND INSTALL ANY REQUIRED SEDIMENT AND EROSION CONTROL FACILITIES (I.E. RIP RAP, EROSION CONTROL BLANKETS, ETC.).
- ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ROADWAYS AND PARKING AREAS MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- COMPLETE PERMANENT SEEDING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BEEN 75%-85% ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
- CLEAN SITE AND ALL DRAINAGE STRUCTURES, PIPES AND SUMPS OF ALL SILT AND DEBRIS.
- ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
- UPON COMPLETION OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ANY RELEVANT PERMITTING AGENCIES THAT THE CONSTRUCTION HAS BEEN FINISHED IN A SATISFACTORY MANNER.

F:\SCADD MASTER STANDARD.dwg - LAYOUTS.dwg - 3/12/2015 - 3:27:29 PM - EDT

Design: JAC	Draft: DJM	Date: 11/04/21
Checked: JAC	Scale: AS NOTED	Project No.: 20603
Drawing Name: 20603-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
4	5/2/22	REVISED PER TOWN AND AOT COMMENTS	DJM
3	3/23/22	REVISED PER CLIENT & PER TOWN ENGINEER COMMENTS	DJM
2	1/13/22	REVISED FOR NHDES SUBMISSION	DJM
1	12/01/21	MINOR POND REVISIONS	DJM
0	11/04/21	ISSUED FOR REVIEW	DJM

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

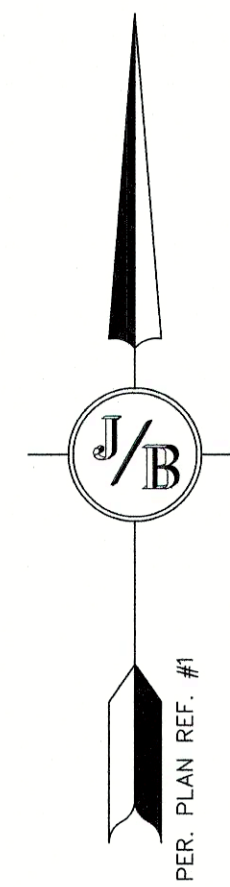
Plan Name:	<b>EROSION AND SEDIMENT CONTROL DETAILS</b>
Project:	<b>LAYDOWN ROAD 10 SCRIBNER ROAD, RAYMOND, NH, 03077</b>
Owner of Record:	<b>I.C. REED &amp; SONS, INC. P.O. BOX 968 RAYMOND, NH 03077 BK 6166 PG 2270</b>

DRAWING No.

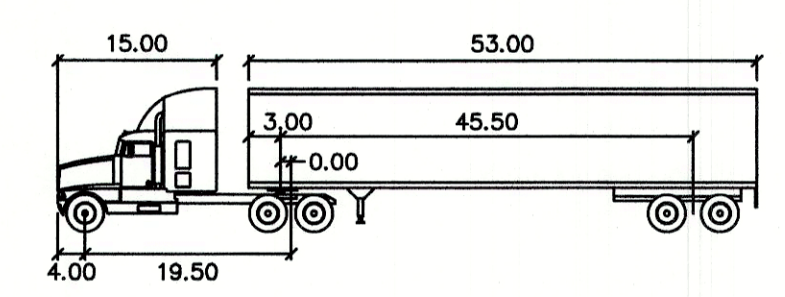
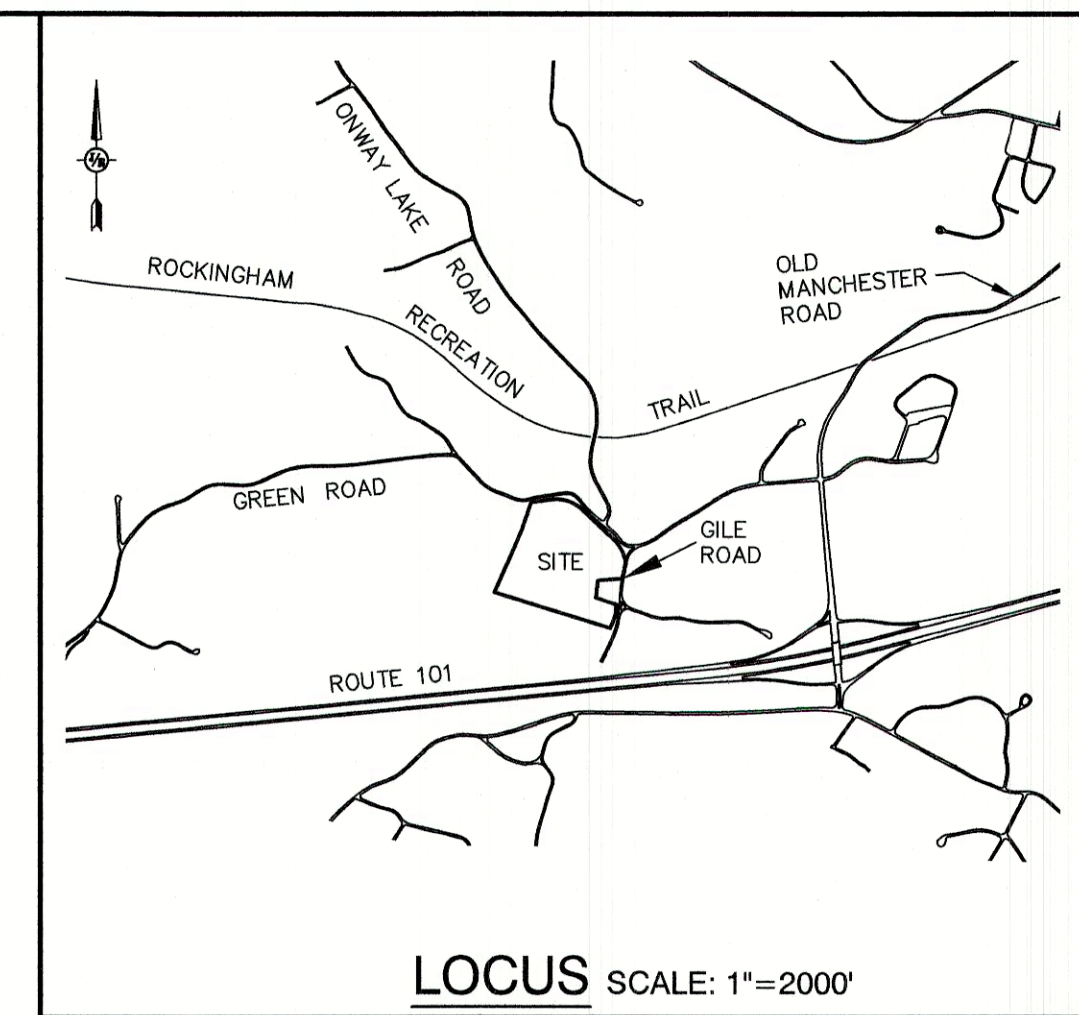
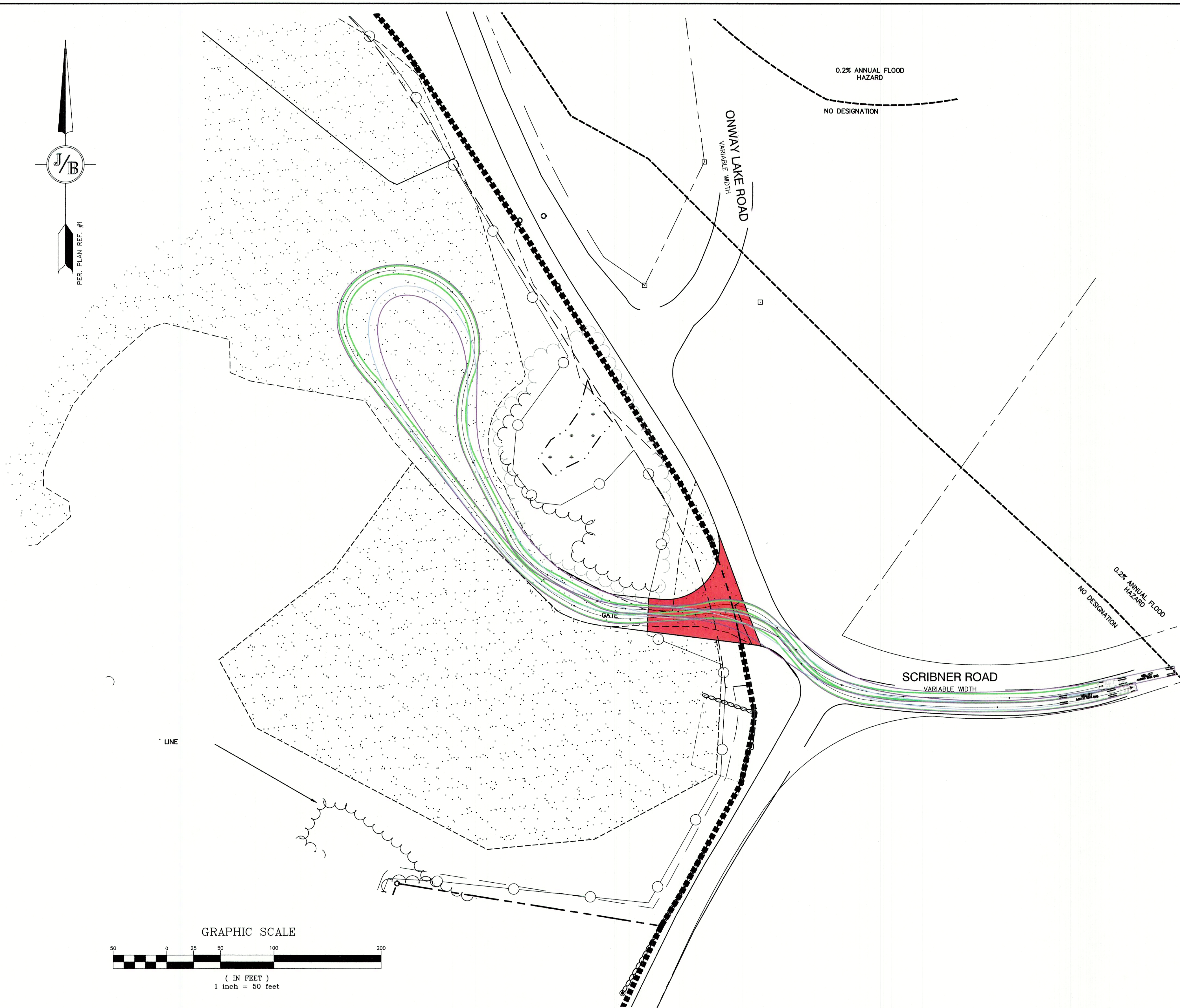
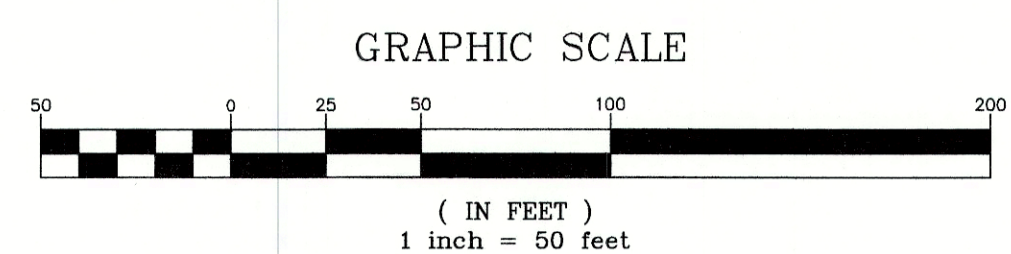
**E1**

SHEET 8 OF 11  
JBE PROJECT NO. 20603

F:\CADD\MASTER STANDARD\dwg\JB-LAYOUTS.dwg 3/12/2015 3:27:29 PM EDT



PER. PLAN REF. #1



WB-67

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		

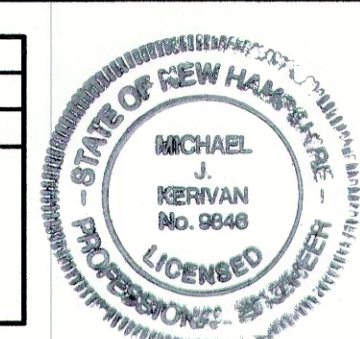
**LEGEND:**

	=	VEHICLE BODY
	=	FRONT WHEELS
	=	REAR WHEELS

**PROJECT PARCEL**  
TOWN OF RAYMOND  
TAX MAP 22, LOT 15

**TOTAL LOT AREA**  
1,160,277 SQ. FT.  
26.64 ACRES

Design: JAC	Draft: DJM	Date: 11/04/21
Checked: JAC	Scale: AS-NOTED	Project No.: 20603
Drawing Name: 20603-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
4	5/2/22	REVISED PER TOWN AND AOT COMMENTS	DJM
3	3/23/22	REVISED PER CLIENT & PER TOWN ENGINEER COMMENTS	DJM
2	1/13/22	REVISED FOR NHDES SUBMISSION	DJM
1	12/01/21	MINOR POND REVISIONS	DJM
0	11/04/21	ISSUED FOR REVIEW	DJM

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**  
*Civil Engineering Services*

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746  
FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

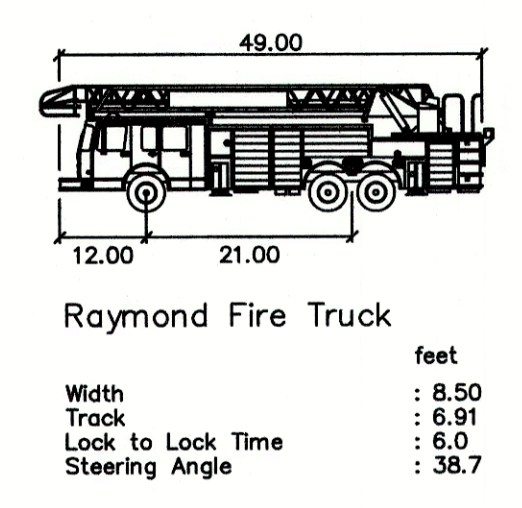
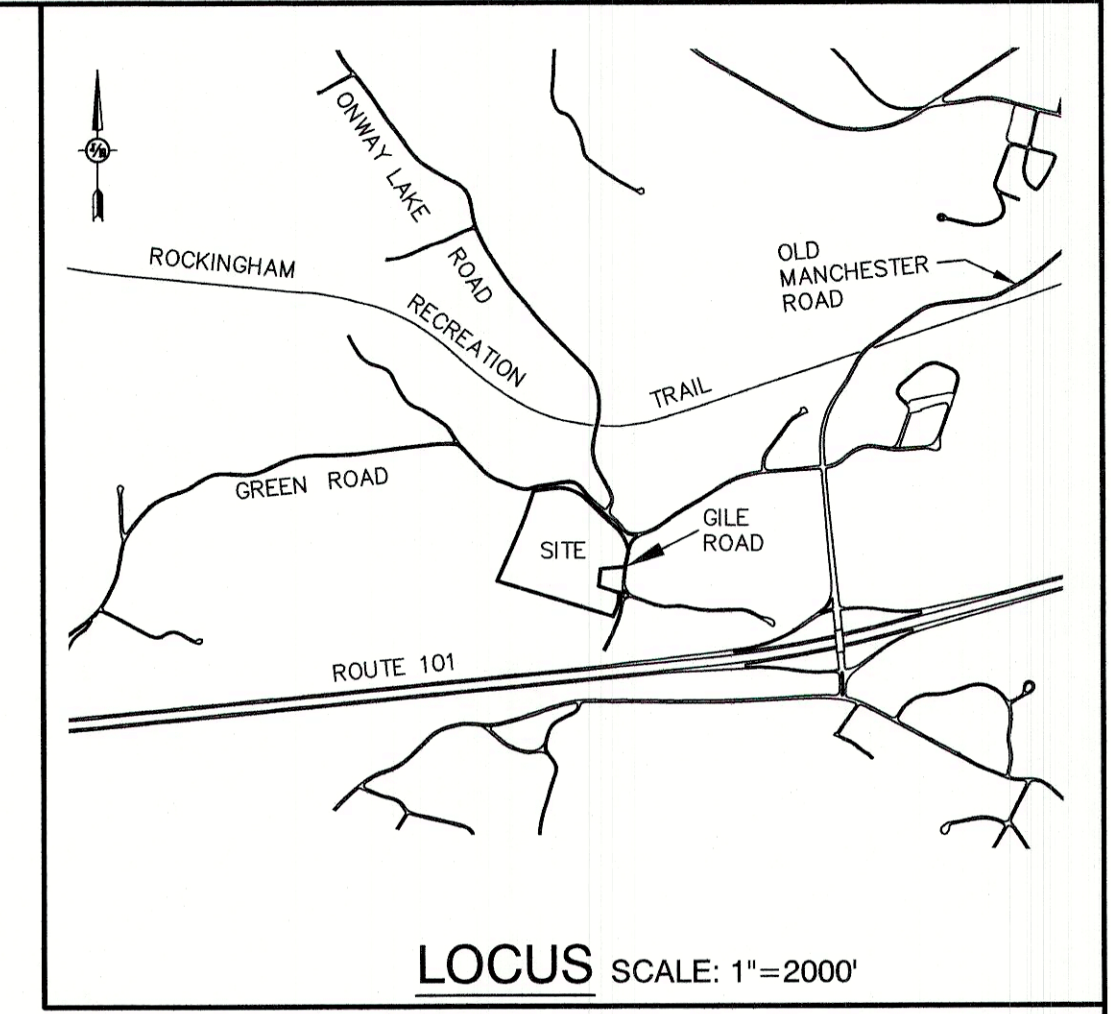
Plan Name:	<b>TRUCK TURNING PLAN</b>
Project:	LAYDOWN YARD 10 SCRIBNER ROAD, RAYMOND, NH, 03077
Applicant/Owner:	I.C. REED & SONS, INC. P.O. BOX 968 RAYMOND, NH 03077 BK 6166 PG 2270

DRAWING No.

**T1**

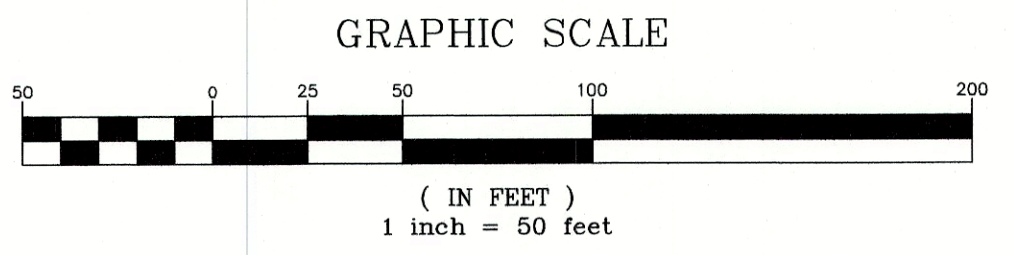
SHEET 9 OF 11  
JBE PROJECT NO. 20603

E:\CADD\MASTER STANDARD\dwg\JB-LA\YOUTS.dwg 3/12/2015 3:27:29 PM EDT



**LEGEND:**

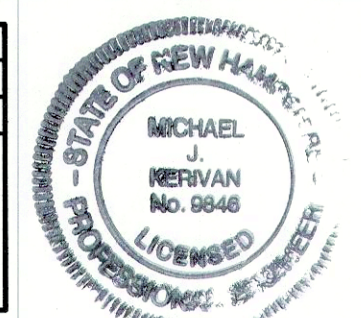
	=	VEHICLE BODY
	=	FRONT WHEELS
	=	REAR WHEELS



<b>PROJECT PARCEL</b> TOWN OF RAYMOND TAX MAP 22, LOT 15
<b>TOTAL LOT AREA</b> 1,160,277 SQ. FT. 26.64 ACRES

Design: JAC    Draft: DJM    Date: 11/04/21  
Checked: JAC    Scale: AS-NOTED    Project No.: 20603  
Drawing Name: 20603-PLAN.dwg

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
4	5/2/22	REVISED PER TOWN AND AOT COMMENTS	DJM
3	3/23/22	REVISED PER CLIENT & PER TOWN ENGINEER COMMENTS	DJM
2	1/13/22	REVISED FOR NHDES SUBMISSION	DJM
1	12/01/21	MINOR POND REVISIONS	DJM
0	11/04/21	ISSUED FOR REVIEW	DJM

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services

85 Portsmouth Ave.    603-772-4746  
PO Box 219    FAX: 603-772-0227  
Stratham, NH 03885    E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>TRUCK TURNING PLAN</b>
Project:	LAYDOWN YARD 10 SCRIBNER ROAD, RAYMOND, NH, 03077
Applicant/Owner:	I.C. REED & SONS, INC. P.O. BOX 968 RAYMOND, NH 03077 BK 6166 PG 2270

DRAWING No.  
**T2**  
SHEET 10 OF 11  
JBE PROJECT NO. 20603



1 Planning Board Minutes  
2 May 5, 2022  
3 7:00 PM  
4 Media Center Raymond High School  
5

6 **Planning Board Members Present:**

7 Brad Reed  
8 Patricia Bridgeo  
9 Dee Luszcz  
10 Kevin Woods  
11 Jim McLeod (Alternate)(Seated)  
12 Gretchen Gott  
13 Jonathan Wood ( Alternate) (Unseated)  
14

15 **Planning Board Members Absent:**

16 Scott Campbell (Selectmen ex officio)  
17

18 **Staff Present:**

19 Glenn Coppelman - Circuit rider  
20 Madeleine Dilonno -Circuit Rider Planner, RPC  
21

22 Pledge of Allegiance  
23

24 Mr. Reed recused himself from the first item of business.  
25

26 Ms. Bridgeo: Application # 2021-024: has asked for a continuance for a site walk and  
27 site plan application.  
28

29 Motion:

30 Mrs. Luszcz made a motion to continue application 2021-024 for a site walk to the  
31 requested date of June 2, 2022, at 68 Mountain Road, Raymond Tax Map 46 / Lot 9 at 5  
32 pm. Mr. McLeod seconded the motion. The motion passed with 5 in favor, 0 opposed,  
33 and 0 abstentions.  
34

35 Motion:

36 Mrs. Luszcz made a motion to continue application 2021-024 for site plan application  
37 review to June 2, 2022, at 7 pm at Raymond High School. Mr. McLeod seconded the  
38 motion. The motion passed with 5 in favor, 0 opposed, and 0 abstentions.

39 Application # 2022-001: A SITE PLAN application is being submitted by John Lorden of  
40 Tighe & Bond, Inc. on behalf of Pinard Waste. They are proposing to construct a 30' x

41 40' metal building, a 1,260-sf office addition, and 10,575 sf proposed addition/overhang  
42 for the recycling processing program. Also, to be included with the project, is a small  
43 parking area, existing gravel/paved areas to be repaved, site lighting, a truck scale,  
44 proposed electrical, and a proposed gravel area for storage. To offset newly paved  
45 areas, stormwater treatment practices in the form of infiltration ponds and gravel  
46 wetlands are proposed. Property is located at 3 Otter Court and Raymond Tax Map 28-4  
47 / Lot 2.

48  
49 John Lorden from Tighe and Bond and Tony Belanger from Pinard Waste Systems  
50 introduced themselves to the Board.

51  
52 Motion:

53 Ms. Bridgeo made a motion to accept application 2022-001 as complete for review. Mrs.  
54 Luszcz seconded the motion. The motion passed with 6 votes in favor, 0 opposed, and  
55 0 abstentions.

56  
57 John Lorden from Tighe & Bond: "This is the Pinard site. It was originally developed for  
58 precast concrete in 1986. That plant closed in the late 90s. And it sat vacant for years  
59 before Pinard purchased it in 2014. What's proposed is a two-phase approach. Part of  
60 phase one is to construct, but 1000 square foot building in addition to the existing  
61 building, it's for office space, there'll be a door through this area to access in there. Also,  
62 a metal building about 1200 square feet out here to store what are called toters  
63 automated waste carts. In addition to that this area is going to be paved for parking. And  
64 we're for stormwater management, we're including an infiltration basin. We're also  
65 adding lighting to this area, so there'd be some lighting along the building and leave five  
66 or six pole mounted lights out in the parking area. Because of the increased office  
67 space, which requires a new septic system that has already been designed and  
68 approved by the state. So that part is phase one, phase two is up here. And we were  
69 before this board, I believe it was in March for a special exception and a joint meeting  
70 with the zoning board that was granted for a recycling processing center. So, this is  
71 square footage. It's about 10,600 square feet of recycling processing center. That's for  
72 just recycled material, approximately 8000 tons of recycling material annually. In  
73 addition to that about 10,000 tons annually of construction and demolition material,  
74 we're not collecting hazardous material. So essentially, we have smaller trucks that go  
75 out to the sites, they get filled up, they come in, they drop it off, and that gets loaded into  
76 larger transport vehicles. And they take those further off site. This project was approved,  
77 have the same special exception, and have the same recycling processing center layout

78 up here. That was in 2016. That expired in March of 2021. So that's why we're back  
79 here with a very similar proposal. But just with the addition of this total building,  
80 improved parking, and improved parking. We were before the TRC in March. A special  
81 exception was granted in March. We responded to the review engineers' comments,  
82 there are a few that are outstanding. One of those is to provide a traffic memo. We just  
83 got that today. So, I haven't digested it fully. But it's basically saying what we thought it  
84 would say that there's not a major increase in the amount of traffic as part of this  
85 development. As part of our next round of submissions, as well as a drainage study, just  
86 earlier this week, we got infiltration rates from our soil scientist who was out doing test  
87 pits and infiltration rates at these two locations. This is another infiltration basin. And  
88 then he was verifying groundwater depth at these two locations for the gravel wetlands  
89 .We also received comments from the Rockingham County Planning Department  
90 towards which we are working. One of them was about a conditional use permit for  
91 regulated substances. So, we do have waste oil and hydraulic oil that are 300-gallon  
92 drums to 250. And then there might be one 300. So that would be over. So that would  
93 be a conditional use. So, I assume that's just another applicant application that will have  
94 to be submitted. We just wanted to throw that out as a potential topic. A sound study  
95 was also something that was presented at the last approval in 2017. That was  
96 submitted. They did two, two of the three phases were complete, they did an ambient  
97 sound study, which just shows what it's like when Pinard is not functioning, then they did  
98 another sound study when Pinard was functioning, and they were within the five-decibel  
99 limit. So, the next phase is what was agreed upon is, let's get this up and running. Run  
100 the third test to see what the sound levels are. If it's five or under, great, Pinard meets it.  
101 Otherwise, they have a certain time period to go back in and make improvements,  
102 whether it's to further insulate the building, or to provide some sort of sound walls. But  
103 that mitigation to get to the required sound level was a condition of approval last time,  
104 and that's one that we would request continued with this one. We did have one waiver,  
105 hoping it's a pretty simple one as required scale of the existing features plan. Up to 151-  
106 inch equals 50 feet, we're showing one-inch equals 100 feet just so we can show the  
107 whole property on one sheet with the abutters. I do think it's reasonable. It's the first  
108 sheet and you're set. But that is the last waiver or the only waiver we're requesting.

109  
110  
111

112 Motion:

113 Ms. Bridgeo made a motion to hold a site walk for application 2022-001, Thursday May  
114 12, 2022 at 6 pm at 3 Otter Court. Mrs. Luszcz seconded the motion. The motion carried



115 with a vote of 6 in favor, 0 opposed and 0 abstentions.

116

117 Mr. Reed asked how much longer do they need to get us the traffic study?

118

119 John Lorden said the traffic study was ready today and they should be ready by the  
120 June 2nd meeting.

121

122 Madeleine Dilonno went over a list of comments she had submitted to the applicant. So, my first  
123 comment was that the applicant should clarify if there will be any storage, handling, or use of  
124 regulated substances in quantities exceeding 100 gallons at one time on site, which they did in  
125 the beginning. So, they will need a conditional use permit, which they can bring to the next  
126 meeting for the board. My next item was the shape, size, height, and location of the proposed  
127 structures, including expansion of existing buildings should be indicated on the plan. And they  
128 have done that in their most recent submittal. My third item is what we were just talking about, I  
129 recommended the applicant ensure adequate screening between the proposed used and the  
130 abutting residential properties and identification of the buffer zone, which we've already talked  
131 about, and we're working through my fourth item the proposed landscape plan should be  
132 stamped and that has since been done. I recommended further detail on any proposed signage,  
133 which we discussed at the TRC. My next comment was about a traffic study. I also did have a  
134 question on your plan here that says Normal trucking operations will occur Monday through  
135 Saturday, between the hours of 6am to 6pm. Limited trucking operations will occur between  
136 3am to 6am, and 6pm to 11pm. I was wondering if you could just elaborate on what normal  
137 versus limited trucking operations is or what those entails?

138

139 John Lorden responded: "So normal is in and out. Through the course of the day, Limited is  
140 they come in, they start, they leave, they don't come back until after their date routes over, they  
141 don't come back to the facility. And yeah, so if we needed to find that better, let me know we  
142 could. We could easily make that better."

143

144 Madeleine Dilonno: "I had a couple items here about ensuring that the plan conforms to the  
145 section and the site plan regulations related to Groundwater Protection, and then just including  
146 a couple of notes on the plan, indicating that the site does conform. And I think that was  
147 outstanding. A listing of the types and quantities of regulated or hazardous substances should  
148 be noted somewhere on the plan, which we went over. And that will be included with your  
149 conditional use permit as well. I had to know about truck traffic. And the noise, which we've  
150 already been talking about there. There'll be submitting a noise plan. I recommended further  
151 specification on employee count. Are you expecting more employees than you have now with  
152 the expansion in the recycling processing center?"

153

154 Tony Belanger: "That's in the Operations Plan."

155  
156 Madeleine Dilonno: "And then I recommended that the applicant clarify what the proposed  
157 paved storage area was for which we talked about the TRC."  
158  
159 John Loarden: "So it's now no longer gravel, it's now paved."  
160  
161 Mr. Reed: "All right, we have a request to rule on the waiver, which would help them when they  
162 do their final drawings for us, which is what they're shooting for here. I'm assuming that they've  
163 asked for a waiver from the regulation which Article 3 section 5.0.203 a plan with a scale of  
164 one-inch equals 20 up to one-inch equals 50 where the Planning Board finds in all the usual  
165 wordage. But the waiver is in an effort to group geographically show the entire site as he  
166 explained earlier, along with the structures within 200 feet of the property line. And they need a  
167 scale of one-inch equals 100 feet in order to do that. This granting will not be detrimental to  
168 public safety, health and welfare are injurious to other adjacent properties. Explain other waiver  
169 will not have the effect of nullifying the intended purpose of these regulations. Our  
170 understanding of the purpose of this regulation is to verify the boundary setbacks, topography,  
171 and site features are depicted accurately on a plan use for design. The existing conditions plan  
172 included in the plan set meet those requirements and will not have the effect of nullifying the  
173 intent and purpose of the site plan review regulations. The zoning ordinance master plan or  
174 official zoning map. If we grant this waiver, the Planning Board may require such conditions to  
175 secure substantially the objectives of the standards or requirements under these regulations.  
176 Anyway, that's the standard language that goes along with it. Does anybody have a problem  
177 with this, a fairly large site with large buildings? So, if nobody has a problem with this, I will  
178 entertain a motion."  
179  
180 Motion:  
181 Ms. Bridgeo made a motion to accept the waiver with the site plan review regulations Article 3  
182 section 5.0. 203. Mrs. Luszcz seconded the motion. The motion passed with a vote of 6 in  
183 favor, 0 opposed and 0 abstentions.  
184  
185 Motion:  
186 Ms. Bridgeo made a motion to have a continuance until June 2, 2022 for application 2022-001  
187 at Raymond High School at 7pm. Mr. McLeod seconded the motion. The motion passed with a  
188 vote of 6 in favor, 0 opposed and 0 abstentions.  
189 Approval of minutes:  
190  
191 Motion:  
192 Ms. Bridgeo made a motion to accept the minutes from March 23, 2022 for the sections that  
193 apply directly for the Planning Board . Mr. Reed seconded the motion. The motion passed with  
194 a vote of 2 in favor, 0 opposed and 4 abstentions.

195

196 Motion:

197 Mr. Reed made a motion to accept the minutes from April 21, 2022 as amended . Mrs. Luszcz  
198 seconded the motion. The motion passed with a vote of 6 in favor, 0 opposed and 0  
199 abstentions.

200

201

---

202

203 Mr. Reed stated since we last met, I wanted to just clarify that I had never resigned as a  
204 member of the zoning. I've never resigned and ever sent anything official and because it  
205 was all so up in the air. Since our last meeting, Christina and Maddie at the town office  
206 found the appointment from the Board of Selectmen to appoint me as a member of the  
207 Zoning Board. And it's for three years. It was a Board of Selectmen appointment for  
208 three years; the same term was my Planning Board term. For the immediate future, I'm  
209 going to stay on it, just to make sure everything we've got a whole bunch of new people  
210 and want to make sure everything's still running smoothly.

211

212

---

213

214 The Board discussed changes to the policy and procedures. It was agreed that in the  
215 event of inclement weather the meeting will be rescheduled and re-noticed. Maddie  
216 recommended on that same page, number two, just taking out section 1.3. And just  
217 having that paragraph underneath 1.2. Just keep the section but delete the heading.

218

219 Page three under 2.3. Oath of Office, the Board talked about members getting their  
220 materials, put in the sentence newly elected members will take their oath of office and  
221 receive their Planning Board materials at the Raymond Townhall.

222

223 Then right under that 2.4 An announcement that the planning board is seeking alternate  
224 members will be made via print media broadcasted on Raymond Community Television,  
225 as requested. So, at the end, and the request will be made of RCTV we're going to  
226 insert that.

227

228 Maddie recommended bottom paragraph on page three alternate members will be  
229 considered for appointment to the members vacancy, first, based upon seniority, then  
230 based upon the alternate members attendance at posted meetings and sidewalks. And  
231 we had discussion that the board doesn't typically follow this process and whether or not  
232 should be removed.

233  
234 Mrs. Luszcz said : “I personally think removing first based upon seniority, colon then  
235 should be removed. We are constantly encouraging members of the public to come  
236 forward and fill the seats. And if we were lucky enough to have four alternates coming to  
237 all these meetings, putting in their due diligence coming to site walks, and the first time a  
238 seat opens up, we just give it to the person who's always had you know, bet he has the  
239 longest. I just think you're discouraging the public to come, and they don't have a fair  
240 shot. Yeah, that's my take on it.” “So, think of it, just read alternate members will be  
241 considered for appointment to the members vacant seat based upon the alternate  
242 members attendance at posted meetings and site walks.”  
243  
244 Mr. Reed said we're going to get rid of *first based upon seniority then*. So, there'll be  
245 vacancy based upon the alternate members. That's what it's going to read when it's not  
246 okay, we're going to take those five words out.  
247  
248 Madeleine Dilonno: “Section 7.2. We had talked about this section in the event an alternate  
249 member has chosen to sit in place of any absent member during a public hearing said alternate  
250 members shall remain seated in the place of any absent member until the board renders a final  
251 decision on the topic at hand. I was asked to look to see if this was a legal requirement. It is not.  
252 It is encouraged. And I put the source to the NHMA article there. I also added this section from  
253 the New Hampshire Planning Board handbook on alternates responsibilities. This was just  
254 something I'd recommend, but we didn't talk about it necessarily so don't have to add it.”  
255  
256 Ms. Gott: “I'm not in favor of having an alternate member take for the duration of a case? I'm not  
257 in favor of that at all. I think that's not correct. Regular members can get caught up and be part  
258 and especially there's all sorts of ways to get caught up. So, I don't agree with that.” “But it also  
259 says, however, if the regular member were available, and wanted to resume, they familiarize  
260 and resume their place, right, which I think is what we should do. I do not agree with having the  
261 regular member replaced for a duration of a case by an alternate.”  
262 The Board agreed to discuss the matter further at the next meeting.  
263  
264 Maddie Dilonno further stated she took out any recuse members must leave the room at this  
265 time, because we don't have to do that.  
266  
267 The Board had a discussion about what should be contained in the minutes. It was agreed to  
268 table the discussion until the next meeting.  
269  
270 Mr. Wood made a request of the Chairman to make a recommendation to The Board of  
271 Selectmen that the Board continue to use RPC. Tim Roache will be attending Monday's Board

272 of Selectmen meeting to discuss the RPC contract.

273

274 Motion:

275 Mr. Wood made a motion that this board send a letter of endorsement to the Board of  
276 Selectmen requesting the continued support of the RPC advising that the planning board would  
277 like to continue to have the continued support of the Rockingham Planning Commission until  
278 such time as a full-time planner is hired and is fully up to speed. Mrs. Luszczyk seconded the  
279 motion. The motion passed with a vote of 6 in favor, 0 opposed, and 0 abstentions.

280

281 Motion:

282 Ms. Bridgeo made a motion to adjourn. Mr. McLeod seconded the motion. The motion passed  
283 with a vote of 6 in favor, 0 opposed, and 0 abstentions.

284

285 The meeting was adjourned at approximately 9:22pm.

286

287 Respectfully submitted,

288

289 Jill A. Vadeboncoeur

290